

MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Regular Meeting of the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois will be held on Tuesday, February 1, 2022, beginning at 6:30 PM in the Council Chambers at the Village Hall of Tinley Park, 16250 South Oak Park Avenue, Tinley Park, Illinois.

6:30 PM CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

ITEM #1

SUBJECT: CONSIDER APPROVAL OF AGENDA

ACTION: Discussion - **Consider approval of agenda as written or amended.**

COMMENTS: _____

ITEM #2

SUBJECT: CONSIDER APPROVAL OF MINUTES OF THE REGULAR VILLAGE BOARD MEETING HELD ON JANUARY 18, 2022.

ACTION: Discussion: **Consider approval of minutes as written or amended.**

COMMENTS: _____

ITEM #3

SUBJECT: RECEIVE PRESENTATION OF THE TINLEY PARK BUSINESS SPOTLIGHT - GOLDY LOCKS, INC. - **President Glotz and Clerk O'Connor**

ACTION: Discussion: Goldy Locks. Inc. is an established chain of locksmith, commercial door, and electronic security centers that has been serving the Chicago metropolitan area since 1981. The Times Media Company recently listed the Tinley Park location as the winner of the Best Alarm System category in its “Southland’s Best” poll of reader favorites. Please join me in welcoming Gerald Griffin, President of Goldy Locks, Inc./Alarm-One. **No specific action required.**

COMMENTS: _____

ITEM #4

SUBJECT: CONSIDER APPOINTMENT OF BRIAN WITKOWSKI TO THE POSITION OF MAINTENANCE TECHNICIAN - **President Glotz**

ACTION: Discussion: Brian Witkowski has been selected as the most qualified candidate for the Public Work's Water Division opening. He has 5 years of maintenance and equipment operation work experience. He holds a Bachelor of Science in Computer Engineering and Technology. **Consider appointing Brian Witkowski to the position of Maintenance Technician effective February 7, 2022.**

COMMENTS: _____

ITEM #5

SUBJECT: CONSIDER APPROVAL OF THE FOLLOWING CONSENT AGENDA ITEMS:

- A. CONSIDER ADOPTING RESOLUTION 2022-R-011 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND MINUTEMAN SECURITY TECHNOLOGIES FOR THE FIXED AUTOMATED LICENSE PLATE READER (ALPR) PHASE 3 INSTALLATION IN THE AMOUNT OF \$75,157.52.
- B. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$786,700.43 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JANUARY 21 AND 28, 2022.

ACTION: Discussion: **Consider approval of consent agenda items.**

COMMENTS: _____

ITEM #6

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-006 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION TO THE PLANNED UNIT DEVELOPMENT (PUD) FOR THE RESIDENCES AT BROOKSIDE GLEN / MAGNUSON APARTMENTS - **Trustee Mueller**

ACTION: Discussion: Karli Mayher on behalf of One Magnuson Lane, LLC, seeks a Special Use Permit for a substantial deviation to the Planned Unit Development (PUD) for the Residences at Brookside Glen / Magnuson Apartments at 19248-88 Magnuson Lane. The approval allows for design changes to the previously approved PUD.

The Plan Commission held a Public Hearing on December 16, 2021, and January 6, 2022, and voted 5-3 to recommend approval of the Special Use in accordance with the listed plans and Findings of Fact in the Staff Report, with conditions as revised at the January 6, 2022 public hearing. Open items per the revised conditions include the appearance of the exterior mechanical rooftop units, submission of a financial guarantee approved by the Village Board, and construction timeline. In response to the conditions, the petitioner will provide revised documents (elevations).

The Committee of the Whole discussed this case at the January 18, 2022, meeting and this was discussed as a first read later that evening at the Village Board meeting. **This is Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #7

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-013 GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT (THE TINLEY DOWNS PLAZA) - **Trustee Mueller**

ACTION: Discussion: Richard Mommsen on behalf of Daley -Mommsen Enterprises (d/b/a Dunkin' Donuts) seeks a Special Use Permit for the Tinley Downs Plaza Planned Unit Development. The PUD approval includes exceptions to the Zoning Ordinance and allows for the redevelopment of the outlot building for a Dunkin Donuts drive-thru.

The Plan Commission held a Public Hearing on January 20, 2022, and voted 7-0 to recommend approval of the Special Use in accordance with the listed plans, recommended conditions, and Findings of Fact in the Staff Report. **This Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #8

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-014 FOR THE TRANSFER OF PROPERTY PURSUANT TO THE ILLINOIS LOCAL GOVERNMENT PROPERTY TRANSFER ACT (7551 191st STREET, TINLEY PARK, IL) - **Trustee Brady**

ACTION: Discussion: This ordinance approves a purchase and sale agreement between the Village of Tinley Park and the Board of Education of Lincoln-Way Community Highschool District 201 for property located at 7551 191st Street **This Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #9

SUBJECT: CONSIDER ADOPTING RESOLUTION 2022-R-010 AUTHORIZING THE RELEASE OF CERTAIN EXECUTIVE SESSION MINUTES - **Clerk O'Connor**

ACTION: Discussion: Pursuant to 5 ILCS 120/2.06(d) of the Illinois Open Meetings Act, the President and Board of Trustees of the Village of Tinley Park periodically meet and review the minutes of all meetings of the President and Board of Trustees that had been closed to the public. **This Resolution is eligible for adoption.**

COMMENTS: _____

ITEM #10

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-R-015 AMENDING TITLE V CHAPTER 50 OF THE TINLEY PARK MUNICIPAL CODE ENTITLED “WATER” PERTAINING TO DELINQUENT NOTICES - **Trustee Mahoney**

ACTION: Discussion: Section §50.028 of the municipal code was amended in 2019, which included changes to the delivery process of notice of discontinuation of service to U.S. Priority Mail. The Village has been unable to implement this due to bulk quantity supplies, printing companies unable to meet the time frame requirements, and cost. Public Works clerical staff are able to complete the process more effectively. Request to amend Ordinance 2019-O-032 regarding delinquent notices as outlined in Title V Chapter 50 Section §50.028 of the Municipal Code to replace U.S. Priority Mail with U.S. Postal Service. **This Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #11

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-010 AN ORDINANCE RESCINDING ORDINANCE 2021-O-082 AND ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE BOND ORDER DATED JUNE 5, 2013 IN CONNECTION WITH THE ISSUANCE OF \$11,340,000 GENERAL OBLIGATION BONDS, SERIES 2013 OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, AS AMENDED BY THE “CERTIFICATE OF REDUCTION OF TAXES HERETOFORE LEVIED FOR THE PAYMENT OF BONDS” DATED DECEMBER 2, 2021 - **Trustee Sullivan**

ACTION: Discussion: It has been determined that Ordinance 2021-O-082 conflicted with the revised Tax Levy requirements for the Series 2013 bonds due to the recent sale and issuance of the \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B (“Series 2021B bonds”) which advance refunds a portion of the Series 2013 bonds. This ordinance rescinds the abatement previously provided in ordinance 2021-O-082 and replaces it with new abatement instructions that corresponds to the amended Tax Levy requirements for the Series 2013 bonds contained in the “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021 which was necessitated by the issuance of the Series 2021B bonds and the advance refunding of the portion of the Series 2013 bonds. This ordinance abates \$410,594.02 of the 2021 Tax Levy requirements of \$718,500.00 for the Series 2013 bonds, as amended, leaving \$307,905.98 as the remaining 2021 Tax Levy amount. The sources and amounts of the funds to support this abatement are as follows:

Hotel Tax Debt Service Reserve	\$287,400.00
Sewer Fund	\$102,637.73
Stormwater Management Fund	\$ 12,839.59
New Bremen TIF District	\$ 7,716.70

This Ordinance is eligible for adoption.

COMMENTS: _____

ITEM #12

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-011 AN ORDINANCE ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$5,965,000 TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS - **Trustee Sullivan**

ACTION: Discussion: This ordinance abates a portion of the 2021 Tax Levy requirements for the Series 2021B bonds as contained in both the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B” and the “Direction for Abatement of Taxes” dated December 2, 2021, in connection with the issuance of the \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B (“Series 2021B bonds”). This ordinance abates \$158,814.73 of the 2021 Tax Levy requirements of \$200,908.75 for the Series 2021B bonds, leaving \$42,094.02 as the remaining 2021 Tax Levy amount. Combined, the abatement directions provided within ordinances 2022-O-010 and 2022-O-011 leave a total debt service levy for the Village of Tinley Park of \$350,000 (excluding the Tinley Park Public Library), which has remained unchanged since Tax Year 2009. The sources and amounts of the funds to support this abatement are as follows:

Hotel Tax Debt Service Reserve	\$80,363.50
Surtax Capital Projects Fund	\$44,003.41
Sewer Fund	\$28,669.82
Stormwater Management Fund	\$ 3,590.24
New Bremen TIF District	\$ 2,157.76

This Ordinance is eligible for adopting.

COMMENTS: _____

ITEM #13

SUBJECT: CONSIDER ADOPTING ORDINANCE 2022-O-012 AN ORDINANCE ABATING ALL OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$8,940,000 GENERAL OBLIGATION BONDS, SERIES 2021A OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS - **Trustee Sullivan**

ACTION: Discussion: This ordinance abates all \$747,001.67 of the 2021 Tax Levy requirements for the Series 2021A bonds as contained in both the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B” and the “Direction for Abatement of Taxes” dated December 2, 2021, in connection with the issuance of the \$8,940,000 General Obligation Bonds, Series 2021A (“Series 2021A bonds”). The bond issue will support infrastructure improvements for the Village Water and Sewer system and will be supported by the utility revenues of those funds. **This Ordinance is eligible for adoption.**

COMMENTS: _____

ITEM #14

SUBJECT: RECEIVE COMMENTS FROM STAFF -

COMMENTS: _____

ITEM #15

SUBJECT: RECEIVE COMMENTS FROM THE BOARD -

COMMENTS: _____

ITEM #16

SUBJECT: RECEIVE COMMENTS FROM THE PUBLIC -

COMMENTS: _____

ITEM #17

SUBJECT: ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.

- B. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.

ADJOURNMENT

**MINUTES OF THE BOARD MEETING OF THE TRUSTEES,
VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES,
ILLINOIS, HELD JANUARY 18, 2022**

The regular meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL January 18, 2022. President Glotz called this meeting to order at 6:55 p.m.

At this time President Glotz led the Board and audience in the Pledge of Allegiance.

Clerk O'Connor called the roll. Present and responding to roll call were the following:

Village President:	Michael W. Glotz
Village Clerk:	Nancy O'Connor
Trustees:	William P. Brady William A. Brennan Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan
Absent:	None
Also Present:	
Village Manager:	Patrick Carr
Asst. Village Manager:	Hannah Lipman
Village Attorney:	Paul O'Grady

Motion was made by Trustee Brennan, seconded by Trustee Mueller to approve the agenda as written or amended for this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to approve and place on file the minutes of the Special Village Board Meetings held on January 4, 2022. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time President Glotz introduced Paul Spass of Primal Cut Steakhouse, 17344 Oak Park Avenue. Mr. Spass presented an overview of the restaurant.

Motion was made by Trustee Brennan, seconded by Trustee Brady to adopt and place on file **RESOLUTION 2022-R-007 RECOGNIZING THE ACCOMPLISHMENTS OF DANIEL P. RIORDAN, DEPUTY FIRE CHIEF OF FIRE PREVENTION, TINLEY PARK FIRE DEPARTMENT AT HIS RETIREMENT.** This resolution recognizes Daniel P. Riordan on his retirement after his forty (40) years of public service. President Glotz asked if there were any comments from members of the Board. President Glotz thanked Mr. Riordan for his years of hard work. Chief Klotz concurred, as did Trustee Brennan. Mr. Riordan thanked this Board and previous Boards. Vote on roll call. Ayes: Brady,

Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to appoint **SHERYL MALIWAT TO THE POSITION OF ACCOUNTANT II**. Sheryl joined the Finance Department in 2019 as a part-time Accountant and has been responsible for reviewing and analyzing billing receipts, daily cash receipts, processing accounts payable, and supporting the accounting staff. Sheryl has over 20 years of experience in the accounting field including 8 years in senior-level accounting roles and holds a Bachelor of Science in Accountancy. She has demonstrated her abilities and has a strong desire to continue to take on additional responsibilities. President Glotz asked if there were any comments from members of the Board or public. There were none. Ms. Maliwat thanked the Board. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mueller, to appoint **JESSICA MOOI TO THE POSITION OF PUBLIC WORKS SERVICE REPRESENTATIVE**. Jessica joined the Public Works Department in 2019 in a part-time role and has taken great initiative to support the daily office operations. She has a positive attitude, a strong desire to take on additional responsibilities, and provides excellent customer service to the residents of Tinley Park. Prior to joining the Village, Jessica served in various public safety roles. She holds a Bachelor of Arts in Legal Studies and a Master of Leadership Studies. It is recommended that Jessica be promoted to the position of Public Works Service Representative. President Glotz asked if there were any comments from members of the Board or public. There were none. Ms. Mooi thanked the Board. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mueller to appoint **DARLENE MILANOWICZ TO THE POSITION OF ENGINEERING PROJECT MANAGER**. Darlene is an experienced public works professional with over 21 years of engineering and project management experience serving many municipalities across the southwest suburban area in construction engineering and inspection services for street rehabilitation, roadway construction and extensions, bicycle paths, sanitary & storm sewer, and water main projects. Her experience includes 13 years of directly related engineering consulting services and 8 years of experience in public works administration, most recently serving in the role of Assistant Public Works Director for a local municipality. Darlene holds a Bachelor of Science in Civil Engineering. President Glotz asked if there were any comments from members of the Board or public. There were none. Ms. Milanowicz thanked the Board. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to move **ITEM #21 (ADJOURN TO EXECUTIVE SESSION)** to item #7B. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, at 7:23 p.m. to adjourn to Executive Session to discuss the following:

- A. DISCUSSION OF MINUTES OF MEETINGS LAWFULLY CLOSED UNDER THIS ACT, WHETHER FOR PURPOSES OF APPROVAL BY THE BODY OF THE MINUTES OR SEMI-ANNUAL REVIEW OF THE MINUTES AS MANDATED BY SECTION 2.06.

- B. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.
- C. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adjourn the Executive Session meeting at 8:09 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Brady, to reconvene the regular Board meeting at 8:10 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to consider approving the following Consent Agenda items as amended:

- A. CONSIDER ADOPTING ORDINANCE 2022-O-003 AMENDING TITLE III CHAPTER 32 REGARDING THE ADVISORY COMMISSION ON LABOR AND DEVELOPMENT.
- B. CONSIDER ADOPTING ORDINANCE 2022-O-004 AMENDING CHAPTER I SECTION 100 OF ORDINANCE 2016-O-055 REGARDING GENERAL REQUIREMENTS.
- C. CONSIDER PAYMENT OF IMPACT FEES THROUGH OCTOBER 2021 IN THE AMOUNT OF \$26,400 TO KIRBY SCHOOL DISTRICT 140.
- D. CONSIDER REQUEST FROM ST STEPHEN DEACON & MARTYR, TO CONDUCT A QUEEN OF HEARTS RAFFLE BEGINNING ON JANUARY 19, 2022, WITH THE WINNER BEING DRAWN EACH FRIDAY AT NORTH & MAPLE KITCHEN & BAR 18401 NORTH CREEK DRIVE.
- E. CONSIDER PAYMENT OF OUTSTANDING BILLS IN THE AMOUNT OF \$3,186,199.61 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED JANUARY 7 AND 14, 2022.

President Glotz asked if anyone from the Board would like to remove or discuss any items from the Consent Agenda. No items were removed or discussed. President Glotz asked if there were any comments from members of the public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **RESOLUTION 2022-R-009 REGARDING THE INDEPENDENT COUNSEL'S FINDINGS,**

DECISION AND ORDER: THE MATTER OF TIMOTHY JANECYK ETHICS COMPLAINT AGAINST TRUSTEE DIANE GALANTE. This Resolution is in regards to the Independent Counsel's findings, decision and order in the matter of the Timothy Janecyk ethics complaint against Trustee Diane Galante. President Glotz asked if there were any comments from members of the Board or public.

Trustee Mueller stated that this item is part of the process under the Village Ethics Code. The ethics attorney recommended that pursuant to Section 39.25 (d) that the appropriate action as a result of Trustee Galante's ethics violation shall be a public reprimand and that she complete additional ethics training as directed by the Village Attorney.

At this time Trustee Mueller read Resolution 2022-R-009.

President Glotz reminded the Board and Public of the time limits for comments. The Trustees have five (5) minutes and the public have six (6) minutes. Trustee Galante asked if she could have additional time to comment. President Glotz noted that this could be granted by a vote of the Board members. He then read into the record Section 30.23 (C).

Trustee Galante stated her concerns about the ethics complaint. She stated that she had concerns with the conduct and problems in the Village and took steps to speak with the Village Manager, Village Attorney, and Mayor to discuss her concerns and take appropriate actions. Unable to find anyone at the Village to take her statements, she had to find her own attorney. Trustee Galante spoke to the affidavits that were part of this ethics complaint. She feels many of the questions asked her as part of the investigation were inappropriate because of pending litigation. Trustee Galante commented on issues she had with employees, the Village Attorney, Ethic Attorney, and members of the Board.

Trustee Mueller stated that it is the Board member's responsibility to cooperate with the investigative process of an Ethics complaint.

Trustee Brennan spoke to the formality of the ethics process and stated no attorney has been afforded to defendants of an ethics complaint using Village funds.

Trustee Sullivan concurred with Trustees Mueller and Brennan. She commented on her disappointment in regards to the involvement with a person who has such a vendetta against the Village which was stated in this complaint.

Trustee Mahoney agreed that the taxpayers should not have to pay for defending a person in an ethics complaint.

Trustee Brady stated his disappointed that someone would aid someone who has had many lawsuits against the Village through four (4) administrations.

Clerk O'Connor feels that Trustee Galante is not taking responsibility for what she has done. She looks forward to moving this investigation onto the Cook County States Attorney Integrity Unit.

President Glotz stated the Village Ethics Code was adopted many years ago. He stated that it is difficult to find independent attorneys to review ethics complaints. He stated his concerns with information being shared from the executive session. He commented on the original attorney that was to review this ethics complaint who was a neighbor of Trustee Galante and had to be excused from this review. He spoke to the affidavits containing false information. He apologized to the Village staff, Village attorney, and the citizens for all they

have gone through regarding this complaint. President Glotz stated that over the years 56 (Trustee Galante being the 56th person) Board members and Village staff have had ethic complaints filed against them, and 55 of them cooperated with the process.

A citizen stated that his was disappointed that Trustee Galante shows no remorse. He stated that he is impressed that the Village Board took this process seriously and would like to see this sent to the Cook County Office States Attorney Integrity Unit.

President Glotz noted that this is part of the ethics process in the Village Code.

Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adopt and place on file **ADOPTING ORDINANCE 2022-O-007 INCREASING THE NUMBER OF CLASS “E” LIQUOR LICENSES – AVOCADO THEORY (17302 OAK PARK AVENUE)**. Avocado Theory is seeking a Class E liquor license, which permits the sale of beer and wine only. This item was discussed at the Committee of the Whole prior to this meeting President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mahoney, seconded by Trustee Brady to adopt and place on file **ORDINANCE 2022-O-008 INCREASING THE NUMBER OF CLASS “E” LIQUOR LICENSES – GOLDEN CORRAL (6803 159th STREET)**. Golden Corral is seeking a Class E liquor license, which permits the sale of beer and wine only. This item was discussed at the Committee of the Whole prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-009 INCREASING THE NUMBER OF CLASS “A” LIQUOR LICENSES – HILLGROVE TAP (9501 171st STREET)**. Hillgrove Tap is seeking a Class A liquor license, which permits the sale of all alcoholic beverages. This item was discussed at the Committee of the Whole prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **ORDINANCE 2022-O-001 GRANTING A SPECIAL USE FOR A PRELIMINARY PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAT FOR THE OAK RIDGE SUBDIVISION**. The Plan Commission held a Public Hearing on December 16, 2021, and voted 5-0 to recommend approval of the Special Use and Preliminary Plat in accordance with the listed plans, recommended conditions, and Findings of Fact in the Staff Report. The Village Board held a first reading on the ordinance at the January 4, 2022, Village Board meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan to adopt and place on file **ORDINANCE 2022-O-002 GRANTING A MAP AMENDMENT FOR THE OAK RIDGE**

SUBDIVISION LOCATED AT RIDGELAND AVENUE AND OAK FOREST AVENUE TO BE REZONED FROM ORI TO THE R-5 ZONING DISTRICT. The Plan Commission held a Public Hearing on December 16, 2021, and voted 5-0 to recommend approval of the Map Amendment in accordance with the listed plans and Findings of Fact in the Staff Report. The Village Board held a first reading on the ordinance at the January 4, 2022, Village Board meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney to adopt and place on file **ORDINANCE 2022-O-005 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION TO THE PARK PLACE PLANNED UNIT DEVELOPMENT FOR PETE'S FRESH MARKET WAREHOUSE ADDITION.** The Plan Commission held a Public Hearing on January 6, 2022, and voted 8-0 to recommend approval of the Special Use in accordance with the listed plans and drafted Findings of Fact in the Staff Report. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Sullivan to adopt and place on first read **ORDINANCE 2022-O-006 GRANTING A SPECIAL USE FOR A SUBSTANTIAL DEVIATION TO THE PLANNED UNIT DEVELOPMENT FOR THE RESIDENCES AT BROOKSIDE GLEN / MAGNUSON APARTMENTS.** The Plan Commission held a Public Hearing on December 16, 2021, and January 6, 2022, and voted 5-3 to recommend approval of the Special Use in accordance with the listed plans and Findings of Fact in the Staff Report, with conditions as revised at the January 6, 2022, public hearing. Open items per the revised conditions include the appearance of the exterior mechanical rooftop units, submittal of some form of a financial guarantee approved by the Village Board, and construction timeline. In response to the conditions, the petitioner will provide revised documents (elevations). This item was discussed at the Committee of the Whole prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public.

Community Development Director Kimberly Clarke presented an overview of the project to date and the open items that were discussed by the Plan Commission per the revised conditions including the appearance of the exterior mechanical rooftop units, a financial guarantee would be acceptable to the Village Board, and a construction timeline for completion. In response to the conditions, the petitioner will provide revised documents (elevations) for the next Village Board meeting after they are confident no other changes will be needed.

President Glotz stated his concerns with this project including the changes on the foundation and the garage. He agrees with the Plan Commission regarding the recommendation that the developer provides a performance bond. He would like to have Village Staff and Village Attorneys work out the issues and ask the Board to have the developer hold to the plan that was adopted by the Plan Commission and Village Board in 2017. He realizes that the foundation size of the development has changed.

A representative of the Developer noted that some of the items that were part of the 2017 plans can not be done because of the foundation change. They will comply with the 2017 plans to the extent they can. The items they are asking to be changed are due to this foundation change that already exists. She noted that in the 2017 plan the building was to be precast and at this point, there is a massive supply chain problem with the material and will need to be changed to traditional masonry in place of precast. There is a total of four (4)

items asked to be changed. The developer has agreed to the architectural conditions discussed by the Plan Commission.

Village Attorney O'Grady stated that the developer is in discussions with the Village about a performance bond. He noted that the Board could vote on the first reading tonight and the Village will work with the developer on the details then bring this back to the Board for adoption at the February 1, 2022, Village Board meeting.

President Glotz noted that the Village wants this to be decided at the February 1st Village Board meeting.

Trustee Mueller referred to 2017 and noted that there were a few things the Village and neighbors wanted for this development. They wanted this development to be the right product for the community. The changes are a concern to him. He noted the Plan Commission discussions were productive. He would like to see the developer provide a performance bond. He asked that the developer improve the conditions of the site be during construction to assist the neighborhood.

Trustee Brennan encouraged cooperation and to be sure to follow the process.

Vote on voice call. President Glotz declared the motion carried.

Motion was made by Trustee Brady, seconded by Trustee Brennan to adopt and place on file **RESOLUTION 2022-R-008 AUTHORIZING A GEOGRAPHIC INFORMATION SYSTEM (GIS) CONSORTIUM CONTRACT BY AND BETWEEN THE VILLAGE OF TINLEY PARK AND MUNICIPAL GIS PARTNERS, INCORPORATED.** : This agreement with the GIS Consortium service provider, Municipal GIS Partners (MGP) continues at the rate implemented during the COVID-19 period. This renewal term will remain in effect until December 31, 2022. If desired, the Village can modify the scope and terms of this agreement at a later date via an addendum presented to the board. This item was discussed at the Committee of the Whole prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

President Glotz asked if there were any comments from members of the Staff. There were none.

President Glotz asked if there were any comments from members of the Board.

Trustee Galante clarified that she requested an attorney to take her statements. She did not ask to be dropped from a lawsuit and did not try to get anyone a job. She stated that she forwarded the information to an attorney about getting added to the independent attorneys listing and she did not give out confidential information. She also stated that she did not refuse to meet with the ethics attorney.

President Glotz stated that the complaint stated there were no open meetings act violations.

President Glotz asked if there were any comments from members of the public.

Resident Mike Stockloose stated his concerns with the Residences of Brookside Glen (Magnuson Apartments). He feels the issues the foundation should have been brought to the Plan Commission before it was changed. He also stated he would like to see the construction site cleaned up and be good neighbors to

Meeting of the Board of Trustees – Minutes

January 18, 2022

the residents. He spoke to an issue the Brookside Glen Townhomes had with the development construction damaging the townhome’s sprinkler system.

President Glotz asked Ms. Clarke to work with the developer’s attorney with Mr. Stockloose concerns.

Motion was made by Trustee Mueller, seconded by Trustee Brady to adjourn the Village Board meeting at 9:31 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

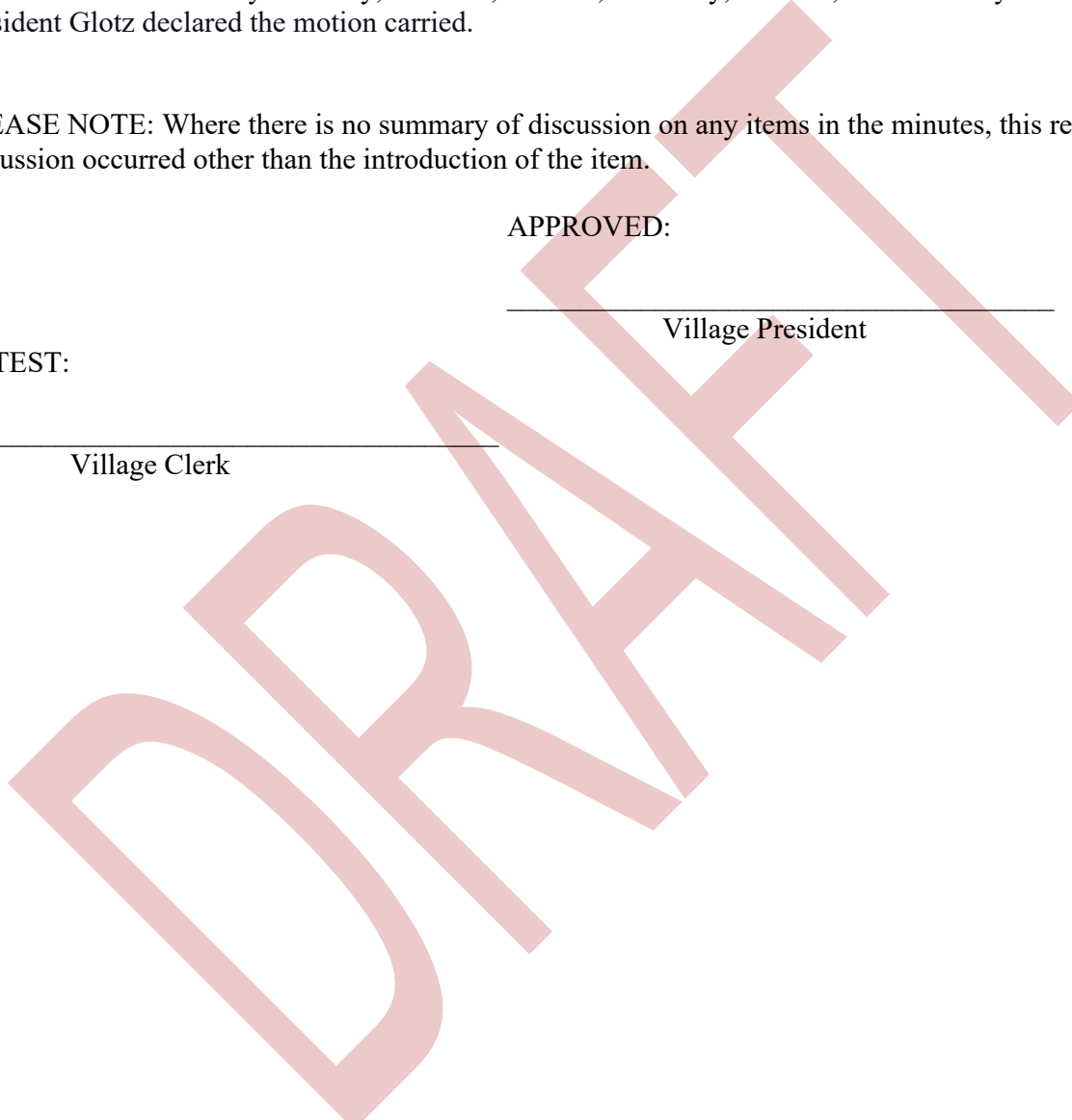
PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

APPROVED:

Village President

ATTEST:

Village Clerk



TINLEY PARK BUSINESS SPOTLIGHT

President Glotz and
Clerk O'Connor

CONSIDER THE APPOINTMENT OF

**BRIAN WITKOWSKI
MAINTENANCE TECHNICIAN**

President Glotz



Interoffice

Memo

Date: January 21, 2022

To: Pat Carr, Village Manager
Hannah Lipman, Assistant Village Manager

From: John Urbanski, Public Works Director
Larry Rafferty, Police Deputy Chief

Subject: Fixed Automated License Plate Reader (ALPR) Phase 3 Installation

Presented for Committee of the Whole and Village Board discussion and action.

Description:

In 2019 the Village released and awarded the program of the Fixed Automated License Plate Reader (ALPR) RFP to Minuteman Security Technologies. These contracts have since installed cameras at six (6) locations at what was designated as the initial phases of implementation.

Subsequently, additional sites have been identified by the Police Department as beneficial to the usefulness of the system for their operations. As the previous phases have proven positive results with percentage of reads and the ability for the Police Department to utilize in investigations, the request to proceed to Phase 3 is being presented.

The scope of the Phase 3 includes:

175th & LaGrange Rd.:

- Installation of (2) LPR cameras and communication equipment for east and westbound traffic.

167th & Cherry Hill Ave.:

- Installation of (2) LPR cameras and communication equipment for east and westbound traffic.

171st & Cambridge Ave.:

- Installation of (1) LPR camera and communication equipment for eastbound traffic.

After reviewing the initial quote for this phase that was presented in an individual installation basis, Minuteman Security Technologies offered a savings by installing as a combined project. With this adjusted cost savings, the Public Works and Police Departments are recommending to proceed with the installation of the Phase 3 LPR cameras as a combined intersection project.

Budget/Finance:

Funds are budgeted and available in Capital Fund

Budget Amount:	\$ 175,000.00
Phase 3 recommended contract	<u>\$ 75,152.52</u>
Difference – UNDER BUDGET -	\$ 99,847.48

Staff Direction Request:

1. Approve the recommended Phase 3 installation contract with Minuteman Security Technologies, Tinley Park, IL for the ALPR installation and maintenance services at a cost of \$75,152.52.
2. Direct staff as necessary.

Attachments:

1. Minuteman Security Technologies Proposal.
2. Contract.

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Voucher List
Village of Tinley Park

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Bank code : ap_py

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
126352	1/21/2022	019214 BLUE CROSS BLUE SHIELD	BCBS-DA-PPPR020122		IL065LB000001212-0 HEALTH INS E 86-00-000-20430	528.75	
			BCBS-DA-PR020122		0000ILLB1212 HEALTH INS EXP-JAN 86-00-000-20430	341.71	
					Total :	870.46	
126353	1/21/2022	004443 GRADY, TERRENCE J.	012022		INS REIMB FOR OVERPAYMENT 86-00-000-20430	680.04	
					Total :	680.04	
126354	1/21/2022	002613 UNITED HEALTHCARE AARP	AARP -PPPR020122		AARP POLICE PENSION JAN 22 PM 86-00-000-20430	3,269.10	
					Total :	3,269.10	
3 Vouchers for bank code : ap_py						Bank total :	4,819.60

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
11922	1/19/2022	017325 INDEPENDENT ESCROW SERVICES	011922		PURCHASE OF 17122 & 17126 OAK 18-00-000-75906	165,359.92 Total : 165,359.92
195513	1/21/2022	012572 ACTION TARGET INC.	0528554-IN	VTP-018920	FIREARM/RANGE EQUIPMENT 01-17-220-73760	370.23 Total : 370.23
195514	1/21/2022	019563 AEP ENERGY INC	3013134260		ACCT#3013134260 UTIL#677116304 01-26-024-72510	216.45 Total : 216.45
195515	1/21/2022	014472 AERO RUBBER COMPANY, INC.	010522	VTP-018926	ADDITIONAL AERO RUBBER STOR/ 01-35-000-72790	680.00 Total : 680.00
195516	1/21/2022	019633 ALTA CONSTRUCTION EQUIPMENT	SP4/41437		FUEL FILTER AND FILTERS 60-00-000-72530 63-00-000-72530 64-00-000-72530	175.04 58.35 100.01 Total : 333.40
195517	1/21/2022	020071 AMSIVE LLC	551691 551974		JAN 1ST '22 WATER BILLS 60-00-000-72310 64-00-000-72310 LATE NOTICES 60-00-000-72310 64-00-000-72310	1,351.55 579.24 231.20 99.08 Total : 2,261.07
195518	1/21/2022	002537 AURELIO'S PIZZA	48		EMA MEETING 1/19/22 01-21-000-72220	113.00 Total : 113.00
195519	1/21/2022	010953 BATTERIES PLUS - 277	P47895593		SLA12-8F BATTERY 14-00-000-74150	140.00 Total : 140.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195520	1/21/2022	020339 BEAVER RESEARCH	0338197-IN		BOLT BUSTER AND NUT SCRUB	
					01-26-024-72540	34.04
					01-26-023-72540	68.08
					60-00-000-72540	35.74
					63-00-000-72540	11.92
					64-00-000-72540	20.41
					Total :	170.19
195521	1/21/2022	003015 BEHRENS, JERRY	AP020122		JERRY BEHRENS HEALTH INSURAI	
					01-17-205-72435	162.50
					Total :	162.50
195522	1/21/2022	002974 BETTENHAUSEN CONSTRUCTION SERV	220002		REMOVAL OF SPOILS, ETC FROM F	
			220003		01-26-023-72890	500.00
					TRUCK TIME FOR HAULING STONE	
					60-00-000-73860	75.60
					63-00-000-73860	8.40
					64-00-000-73860	36.00
					01-26-023-73860	60.00
					70-00-000-73860	20.00
			220004		SEMI TRUCK TIME FOR HAULING S	
					01-26-023-72890	375.00
					60-00-000-73681	236.25
					63-00-000-73681	26.25
					64-00-000-73681	112.50
					Total :	1,450.00
195523	1/21/2022	019214 BLUE CROSS BLUE SHIELD	BCBS-DA-AP020122		0000ILLB1212 HEALTH INS EXP-JAN	
					60-00-000-72435	38.87
					64-00-000-72435	19.83
					63-00-000-72435	7.40
					01-26-023-72435	139.02
					01-33-300-72435	60.09
					01-26-024-72435	76.46
			BCBS-DA-PPAP020122		0000ILLB1212 HEALTH INS EXP-JAN	
					01-17-205-72435	528.71

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195523	1/21/2022	019214	019214 BLUE CROSS BLUE SHIELD	(Continued)		Total : 870.38
195524	1/21/2022	020336	BRAINSTORM INC	QUO-10980-R7B2F7	VTP-018929 OFFICE 365 END USER TRAINING 01-16-000-72655	12,500.00 Total : 12,500.00
195525	1/21/2022	002902	BRUSKE PRODUCTS	85626	YELLOW TRUCK WASH AND WIND 01-26-024-72540 01-26-023-72540 60-00-000-72540 63-00-000-72540 64-00-000-72540	82.88 165.75 87.03 29.01 49.72 Total : 414.39
195526	1/21/2022	003396	CASE LOTS INC	9159	CLOROX BLEACH 01-26-025-73580	190.80 Total : 190.80
195527	1/21/2022	003243	CDW GOVERNMENT INC	Q263027 Q446332 Q531755 Q967466	VTP-018906 WIRELESS KEYBOARD AND MOUS 01-16-000-74128 CISCO TWO FACTOR AUTH 01-16-000-72655 APPLE LIGHTNING USB CABLE,PO 01-16-000-74128 20 DELL 24" MONITORS 01-16-000-74128	43.76 2,750.00 158.17 5,100.00 Total : 8,051.93
195528	1/21/2022	003229	CED/EFENGEE	5025-1003710 5025-1003743	1/2" EMT 01-26-024-73570 OCTRON FLUOR LAMP 01-26-025-72520	77.00 119.70 Total : 196.70
195529	1/21/2022	018325	CHICAGO TRIBUNE COMPANY LLC	74072186	SUBSCRIPTION THRU 4/1/22 01-14-000-72720	77.50 Total : 77.50

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195530	1/21/2022	018198 CHICAGOLAND INVESTIGATIVE SERV	5585		PRE EMPLOYMENT INVESTIGATION	
					01-21-000-72446	350.00
					01-19-000-72446	1,804.95
					01-11-000-72446	350.00
					01-17-205-72446	919.80
					Total :	3,424.75
195531	1/21/2022	013820 CINTAS CORPORATION	5088674014		MEDICINE CABINET - FD#47	
			5088674062		01-26-025-73117	232.30
			5088674065		MEDICINE CABINET - FD#46	
					01-26-025-73117	523.53
			5092112320		MEDICINE CABINET - FD#49	
					01-26-025-73117	139.71
			5092112326		MEDICINE CABINET - PUBLIC SAFI	
					01-26-025-73117	237.12
			5092112339		MEDICINE CABINET - PW GARAGE	
					01-26-025-73117	340.05
			5092112349		MEDICINE CABINET - PD	
					01-26-025-73117	345.81
			5092112372		MEDICINE CABINET - VH	
					01-26-025-73117	120.24
			5092112374		MEDICINE CABINET - PUMP HOUSE	
					01-26-025-73117	14.65
			5092112384		MEDICINE CABINET - PUMP HOUSE	
					01-26-025-73117	14.65
					MEDICINE CABINET - SHOOTING R	
					01-26-025-73117	52.91
					Total :	2,020.97
195532	1/21/2022	012057 COMCAST CABLE	8771401810010702		ACCT#8771810010702 CABLE TV 10	
					01-35-000-72517	10.51
			8771401810028977		ACCT#8771401810028977 7980 183	
					01-26-025-72517	52.55
			8771401810170142.		16250 OAK PARK AVE ACCT# 8771	
				VTP-018391	01-14-000-72125	244.85
			8771401810296319		17355 68TH CT ACCT# 8771 40 181	
				VTP-018413	01-14-000-72125	244.85

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195532	1/21/2022	012057	COMCAST CABLE	(Continued) 8771401810784702	ACCT#8771401810784702 7825 167 01-19-000-72517	84.42
Total :						637.18
195533	1/21/2022	013878	COMED - COMMONWEALTH EDISON	0385181000	ACCT#0385181000 18001 80TH AVE 01-26-025-72510	3,767.33
				0385440022	ACCT#0385440022 SS BROOKSIDE 64-00-000-72510	503.95
				0637059039	ACCT#0637059039 7950 W TIMBER 64-00-000-72510	97.99
				4943163008	ACCT#4943163008 7650 TIMBER DF 70-00-000-72510	20.23
Total :						4,389.50
195534	1/21/2022	018311	CONNECTION	72202706	HP26X CF226XD 2 PACK 01-19-000-73110	683.82
				72274031	6FT MINI DISPLAY PORT 01-16-000-74128	7.26
				72274045	HP80 X BLACK TONER 2 PK 01-19-000-73110	307.10
				72284550	COMBO USB WL PROFIT DESKTOP 01-16-000-74128	28.80
Total :						1,026.98
195535	1/21/2022	019809	COOK COUNTY TREASURER	2021-4	MAINTENANCE OF TRAFFIC SIGNA 01-26-024-72775	6,298.25
Total :						6,298.25
195536	1/21/2022	003511	CULLIGAN WATER CONDITIONING	0049276	BOTTLE FREE COOLER RENTAL 01-19-000-72750	13.00
				0049277	BOTTLE FREE COOLER RENTAL 01-19-000-72750	13.00
				0049278	BOTTLE FREE COOLER RENTAL 01-19-000-72750	13.00
				0049369	FINANCE CHARGES FOR PRIOR IN 01-19-000-72750	10.00

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195536	1/21/2022	003511	003511 CULLIGAN WATER CONDITIONING (Continued)			Total : 49.00
195537	1/21/2022	012855	CYLINDERS INC.	11090		
				VTP-018933	FRONT PLOW LIFT CYLINDER UNIT 01-26-023-72540	662.11
					Total :	662.11
195538	1/21/2022	018456	DEL GALDO LAW GROUP, LLC	27850		
					LEGAL SVC DEC'21 RIVER WALK 18-00-000-72850	46.25
					Total :	46.25
195539	1/21/2022	004009	EAGLE UNIFORM CO INC	INV-5166		
				VTP-018597	BLANKET PO FOR CLASS B UNIFOI 01-19-000-73610	14.00
			INV-5182	VTP-018598	BLANKET PO FOR CLASS A UNIFOI 01-19-000-73610	350.00
			INV-5185	VTP-018888	UNIFORM PURCHASE CLASS B LOI 01-19-020-73610	198.00
					01-19-020-73610	61.00
			INV-5243	VTP-018597	BLANKET PO FOR CLASS B UNIFOI 01-19-000-73610	138.00
			INV-5358	VTP-018598	BLANKET PO FOR CLASS A UNIFOI 01-19-000-73610	97.50
			INV-5376		6CC BADGE WALLET D.RIORDAN 01-19-000-73610	37.50
			INV-5379	VTP-018597	BLANKET PO FOR CLASS B UNIFOI 01-19-000-73610	350.00
			INV-5460	VTP-018598	BLANKET PO FOR CLASS A UNIFOI 01-19-000-73610	332.50
			INV-5498		UNIFORM KLOTZ 01-19-000-73610	512.00
			INV-5518	VTP-018597	UNIFORM - B.HOOGERVORST 01-19-000-73610	349.50
			INV-5545	VTP-018597	BLANKET PO FOR CLASS B UNIFOI 01-19-000-73610	280.25
					Total :	2,720.25
195540	1/21/2022	019561	ENDLESS COMMUNICATIONS USA LLC	DG-1396		
					PUSH TO TALK LTE DATA RADIO SV 01-42-000-72540	45.76

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195540	1/21/2022	019561	019561		ENDLESS COMMUNICATIONS USA I (Continued)	Total : 45.76
195541	1/21/2022	020246	FIFTH THIRD BANK		KIRBY SCHOOL DIST 140 IMPACT F	
			011022		84-00-000-23106	26,400.00
			5402479227		ROAD SALT FOR 2020/2021 WINTEI	
				VTP-018790	01-26-023-73810	25,394.19
				VTP-018790	70-00-000-73810	945.53
				VTP-018790	08-00-000-73810	675.38
					Total :	53,415.10
195542	1/21/2022	012941	FMP		FULL SYN DEXOS 5W30 OIL FD-TAI	
			52-502666		01-19-000-73540	40.80
					Total :	40.80
195543	1/21/2022	020195	FOREST PRINTING COMPANY		LETTERHEAD	
			107163		01-14-000-72310	935.00
					Total :	935.00
195544	1/21/2022	011611	FOX VALLEY FIRE & SAFETY CO.		RADIO INSTALLATION AND TRANS(
			IN00488350		14-00-000-72800	210.00
					14-00-000-74150	799.00
			IN00488892		RADIO MAINTENANCE AND CPU BC	
					14-00-000-74150	748.00
			IN00488898		RADIO MAINTENANCE AND TRANS	
					14-00-000-74150	368.50
			IN00492946		FIRE ALARM SYSTEM SERVICE	
					01-26-025-72530	709.00
			IN00493805		RADIO MAINTENANCE	
					14-00-000-74150	110.00
			IN00493818		RADIO MAINTENANCE AND 9DB AN	
					14-00-000-74150	1,560.00
			IN00493938		RADIO INSTALLATION AND TRANS(
					14-00-000-72550	210.00
					14-00-000-74150	799.00
			IN00493955		TP MUNICIPAL RADIO INSPECTION	
					14-00-000-74150	115.00
			IN12282021KZ		RADIO INSPECTIONS	

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195544	1/21/2022	011611 FOX VALLEY FIRE & SAFETY CO.	(Continued)		14-00-000-72550	1,708.00
					Total :	7,336.50
195545	1/21/2022	004535 GALLS LLC	020109535		TACTICAL PANT AND REFLECTIVE , 01-21-000-73610	112.00
					Total :	112.00
195546	1/21/2022	018387 GBJ SALES, LLC	4169		SUPPLIES GLOVES AND BUCKETS	
				VTP-018916	01-26-025-73580	2,360.00
				VTP-018916	01-26-023-72540	16.80
				VTP-018916	01-26-024-72540	8.40
				VTP-018916	60-00-000-72540	8.82
				VTP-018916	63-00-000-72540	2.94
				VTP-018916	64-00-000-72540	5.04
				VTP-018916	01-26-023-72540	16.80
				VTP-018916	01-26-024-72540	8.40
				VTP-018916	60-00-000-72540	8.82
				VTP-018916	63-00-000-72540	2.94
				VTP-018916	64-00-000-72540	5.04
					01-26-025-73580	60.00
					60-00-000-72540	1.05
					63-00-000-72540	0.35
					64-00-000-72540	0.60
					Total :	2,506.00
195547	1/21/2022	004438 GRAINGER	9174716937		ATTACK LINE FIRE HOSE	
					63-00-000-73870	33.59
					64-00-000-73870	28.79
					01-26-024-73870	47.99
					01-26-023-73870	95.98
					60-00-000-73870	33.59
					Total :	239.94
195548	1/21/2022	014491 HANSEN DOOR INC.	10708		REPLACED WORN DOOR PW BLDG 01-26-025-72520	139.50

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195548	1/21/2022	014491	014491 HANSEN DOOR INC.		(Continued)	Total : 139.50
195549	1/21/2022	019792	HANSON AGGREGATES MIDWEST INC	41035422	BACKFILL 01-26-023-73860 70-00-000-73860 60-00-000-73860 63-00-000-73860 64-00-000-73860	163.80 54.60 206.39 22.93 98.28 Total : 546.00
195550	1/21/2022	019784	HEARTLAND BUSINESS SYSTEMS LLC	487934-H 490225-H 491978-H	VTP-018714 VTP-018714 VTP-018714	NETWORK SECURITY CONTRACTC 30-00-000-72872 NETWORK SECURITY CONTRACTC 30-00-000-72872 NETWORK SECURITY CONTRACTC 30-00-000-72872 Total : 3,832.50
195551	1/21/2022	018696	HENRY'S HOUSE OF DECORATED	900	VTP-018838	30 EMBROIDERED TPFD BASBALL 01-19-000-73610 Total : 630.00
195552	1/21/2022	012328	HOMER INDUSTRIES	S170803 S170890 S170916		DROP CHARGE - CHIPS 01-26-023-72890 DROP CHARGE - CHIPS 01-26-023-72890 DROP CHARGE- LOGS,BRUSH,CHIL 01-26-023-72890 Total : 350.00
195553	1/21/2022	011032	HUB INTERNATIONAL MIDWEST LTD.	011822		YR NOTARY BOND FOR NOTARY PI 01-13-000-72720 Total : 20.00
195554	1/21/2022	015497	ILLINOIS SECRETARY OF STATE	011822		FILING FEE FOR NOTARY J.LOPEZ 01-33-000-72720 Total : 10.00

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195555	1/21/2022	015497 ILLINOIS SECRETARY OF STATE	011822.		NOTARY COMMISSION FOR N.O'CC 01-13-000-72720	10.00
					Total :	10.00
195556	1/21/2022	005160 ILLINOIS STATE POLICE	CC04004		CC4004 TINLEY FINGERPRINT VILL 01-14-000-72848	113.00
					Total :	113.00
195557	1/21/2022	005127 INGALLS OCCUPATIONAL MEDICINE	300305		DEC'21 EMPLOYEE SCREENING 01-42-000-72855	205.00
					01-21-000-72446	394.00
					01-17-205-72446	788.00
			300402		DEC'21 EMPLOYEE SCREEDINGS F 01-19-000-72446	1,619.00
					Total :	3,006.00
195558	1/21/2022	013235 INTEGRITY SIGN COMPANY	88765		BATTALLION#146 FAB AND INSTALL 01-19-000-72540	260.00
					Total :	260.00
195559	1/21/2022	005025 INTERNATIONAL CODE COUNCIL INC	1001429087		PLAN REVIEW/SPRINKLER REVIEW 01-33-300-72844	700.00
					Total :	700.00
195560	1/21/2022	005186 INTERSTATE BATTERY SYSTEM	310454		SLA 1055 BATTERY 64-00-000-72525	65.90
					Total :	65.90
195561	1/21/2022	007222 J.C.SCHULTZ ENTERPRISES	0000494710		FLAGS 01-26-025-73112	239.56
					Total :	239.56
195562	1/21/2022	016136 JIMMY JOHN'S	011822		LUNCH FOR BUDGET REVIEW MEE 60-00-000-72220	10.91
					63-00-000-72220	10.91
					64-00-000-72220	9.35
					01-26-023-72220	31.17
					01-26-024-72220	15.58

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195562	1/21/2022	016136 016136 JIMMY JOHN'S	(Continued)			Total : 77.92
195563	1/21/2022	005278 JULIE INC	2022-1762		2021 ANNUAL PRINT/EMAIL AND VC 01-26-023-72513 01-26-024-72513 60-00-000-72513 63-00-000-72513 64-00-000-72513	2,336.97 2,336.97 2,453.82 817.94 1,402.18 Total : 9,347.88
195564	1/21/2022	005379 KLEIN, THORPE & JENKINS, LTD	223050		5409-001 ADMIN HEARINGS SVC TH 01-14-000-72850	858.00 Total : 858.00
195565	1/21/2022	020342 LAVE, MICHAEL & PATRICIA	Ref001416407		UB Refund Cst #00503610 60-00-000-20599	178.90 Total : 178.90
195566	1/21/2022	016801 LIBERTY FLAG & BANNER	18642	VTP-018908	REMOVAL OF HOLIDAY BANNERS 01-35-000-73112	4,473.00 Total : 4,473.00
195567	1/21/2022	014846 LORENCE, BRUCE	020122		FEB'22 OPA TRAIN STATION MAINTI 01-26-025-72530	30.00 Total : 30.00
195568	1/21/2022	018156 LUSBY JR, TERRY	012022		TUITION REIMB PUBLIC SVC CAPS 01-26-025-72143	1,490.16 Total : 1,490.16
195569	1/21/2022	007100 M. E.SIMPSON COMPANY, INC	37998	VTP-018817	WATER ASSESSMENT PROGRAM 1 60-00-000-72790	7,050.00 Total : 7,050.00
195570	1/21/2022	013969 MAP AUTOMOTIVE OF CHICAGO	40-648037		ELEMENT ASY BUILDIN DPT 01-33-000-72540	50.88 Total : 50.88

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195571	1/21/2022	020322 MASTER AUTO SUPPLY	15030-113089		TRUCK PAC BOOSTER 12	
					01-26-024-72540	65.00
					01-26-023-72540	130.00
					60-00-000-72540	68.24
					63-00-000-72540	22.75
					64-00-000-72540	39.00
					Total :	324.99
195572	1/21/2022	006074 MENARDS	15741		5 GAL PAIL,CLOROX BLEACH,PINE:	
					01-21-000-73110	20.48
					Total :	20.48
195573	1/21/2022	012517 MERIDIAN IT INC	506978		NETWORK EQUIP ANNUAL MAINT	
				VTP-018909	01-16-000-72756	31,708.77
					Total :	31,708.77
195574	1/21/2022	005664 MORTON SALT INC	5402480879		ROAD SALT 1/5/22	
				VTP-018790	01-26-023-73810	25,003.41
				VTP-018790	70-00-000-73810	930.98
				VTP-018790	08-00-000-73810	664.98
					Total :	26,599.37
195575	1/21/2022	020340 NETWORK CENTER 1	Ref001416405		UB Refund Cst #00474140	
					60-00-000-20599	442.92
					Total :	442.92
195576	1/21/2022	015723 NICOR	33079168366		ACCT#33079168366 METER 438535	
					64-00-000-72511	51.30
					Total :	51.30
195577	1/21/2022	020341 ONE UNDERGROUND LLC	Ref001416406		UB Refund Cst #00515145	
					60-00-000-20599	554.62
					Total :	554.62
195578	1/21/2022	010135 ONSITE COMMUNICATIONS USA, INC	51569		PORTABLE RADIO LABOR AND REF	
					01-19-000-72550	115.00
					Total :	115.00

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195579	1/21/2022	006475 PARK ACE HARDWARE	067217/1		ACCT#891432 INV#067217/1 HOOK 01-26-023-73840	1.91
			067234/1		ACCT#891432 INV#067234/1 THERM 60-00-000-72528 63-00-000-72528	2.79 2.80
Total :						7.50
195580	1/21/2022	017268 PETERSON JOHNSON & MURRAY	135505		4130.0051 LEGAL SVC MAIN STREE 18-00-000-72850	300.00
			135506		4130.0052 LEGAL SVC WITH MAIN S 19-00-000-72850	300.00
Total :						600.00
195581	1/21/2022	006597 PITNEY BOWES PURCHASE POWER	011922		ACCT#8000-9000-0107-6300 POSTA 01-33-300-72110 01-41-040-72110 01-13-000-72110 01-14-000-72110 01-17-217-72110 01-21-000-72110 01-19-020-72110 01-35-000-72110 01-33-310-72110 01-41-056-72110 60-00-000-72110 64-00-000-72110	56.44 0.53 7.12 2,612.08 240.10 3.58 54.95 636.53 15.90 137.80 335.52 143.80
Total :						4,244.35
195582	1/21/2022	006780 POMP'S TIRE SERVICE, INC	410925887	VTP-018925	(4) P245/65TR17 AT FIRESTONE TIF 01-17-205-73560	784.36
Total :						784.36
195583	1/21/2022	006507 POSTMASTER, U. S. POST OFFICE	011822		FIRE PREVENTION MAILINGS 4 RO 01-19-020-72110	232.00
Total :						232.00
195584	1/21/2022	014087 PROMOS 911, INC	9876		GIVEAWAYS, KEYTAG, PENS, CHAL	

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195584	1/21/2022	014087 PROMOS 911, INC	(Continued)	VTP-018873	01-19-020-73605	1,069.98
					Total :	1,069.98
195585	1/21/2022	018110 PROVEN BUSINESS PRODUCTS	867282		MONTHLY CONTRACT SVC AGREE 01-16-000-72650	306.66
					Total :	306.66
195586	1/21/2022	006856 QUALIFICATION TARGETS,INC.	22200107	VTP-018922	FIREARM/RANGE EQUIPMENT 01-17-220-73760	217.26
					Total :	217.26
195587	1/21/2022	006850 QUILL CORPORATION	22101993		GREY CLIPBOARD 01-35-000-73110	36.20
			22110681		QB CLIPBOARD AND 67#EXACT VE 01-35-000-73110	34.50
					Total :	70.70
195588	1/21/2022	011523 QUINN, DANNY	702526		MECHANIC KEYS - DUPLICATE KEY 01-26-023-73840	52.68
					Total :	52.68
195589	1/21/2022	006361 RAY O' HERRON CO INC	2168693		RIOT HELMET J.THOMPSON 01-17-220-73610	182.66
			2168694		RIOT HELMET R. FRIAS 01-17-220-73610	134.00
			2168695		RIOT HELMET J.SHERLOCK 01-17-220-73610	134.00
			2168939		POLICE ACADEMY EQUIP LEONE 01-17-220-73610	161.20
					Total :	611.86
195590	1/21/2022	006974 RINGHOFER, WILLIAM	AP020122		WILLIAM RINGHOFER HEALTH INSI 01-17-205-72435	642.50
					Total :	642.50
195591	1/21/2022	006874 ROBINSON ENGINEERING CO. LTD.	21120352		21-R0005.014 TP FY'22 PMP RESUF 05-00-000-72840	6,005.32

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195591	1/21/2022	006874	006874 ROBINSON ENGINEERING CO. LTD. (Continued)			Total : 6,005.32
195592	1/21/2022	016334	RUSH TRUCK CENTERS		CLAMP EXH PIPE SHIELD	
			3026195286		01-26-023-72540	154.84
			3026217757		PUMP KIT, LOW PRESS UNIT 26 W/	
					60-00-000-72540	143.74
					63-00-000-72540	47.91
					64-00-000-72540	82.14
			3026277552		CENTRIFUGAL FILTER & HOUSING	
				VTP-018934	60-00-000-72540	361.35
				VTP-018934	63-00-000-72540	120.45
				VTP-018934	64-00-000-72540	206.49
					Total :	1,116.92
195593	1/21/2022	007629	SAM'S CLUB DIRECT	011322	SODA FOR VENDING,WATER,KLEE	
					01-17-205-73315	15.72
					01-14-000-73115	11.48
					01-26-025-73580	14.98
					01-26-024-73115	3.14
					01-26-023-73115	6.29
					60-00-000-73115	2.20
					63-00-000-73115	2.20
					64-00-000-73115	1.89
					01-17-205-73110	45.62
					Total :	103.52
195594	1/21/2022	013043	SITE DESIGN GROUP, LTD.	8498-36	URBAN FORESTRY PROGRAM 11/2	
				VTP-018431	01-26-023-72847	1,045.00
					Total :	1,045.00
195595	1/21/2022	015417	SPIEWAK, EDWIN	110521	REIMBURSEMENT FOR ASE CERTI	
					60-00-000-72140	44.80
					63-00-000-72140	44.80
					64-00-000-72140	38.40
					Total :	128.00
195596	1/21/2022	015405	SSACOP	011322	SSACOP DUES M.WALSH	

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195596	1/21/2022	015405 SSACOP	(Continued)		01-17-205-72720	75.00
					Total :	75.00
195597	1/21/2022	015452 STEINER ELECTRIC COMPANY	S007055198.002		VOLTAGE TESTER	39.33
			S007058885.001		01-26-025-73410 FLOURESCENT LAMP	385.29
					01-26-025-72520	424.62
					Total :	424.62
195598	1/21/2022	019560 THE STANDARD COMPANIES	145820		3M QUAT DISINFECTANT	467.34
					01-26-025-73580	467.34
					Total :	467.34
195599	1/21/2022	007777 THOMPSON ELEVATOR INSPECTION	21-2838		ELEVATOR PLAN REVIEW - 7711 15	75.00
			21-2915		01-33-300-72853 1 ELEVATOR PLAN REVIEW 18327 I	75.00
			22-0042		01-33-300-72853 5 SEMI ANNUAL AND 4 FULL MOD E	38.00
					01-21-000-73870 01-33-300-72853	304.00
					Total :	492.00
195600	1/21/2022	013040 TINLEY PARK FIRE DEPT	011822		PETTY CASH REIMB:PHOTOS,FOOI	137.23
					01-19-000-72974	137.23
					Total :	137.23
195601	1/21/2022	012187 TOTAL AUTOMATION CONCEPTS, INC	C011709		1 YEAR AUTOMATION SERVICE CO	7,322.50
			W26872	VTP-018463	01-26-025-72790	1,335.00
			W26874		SERVICE FOR MULTIPLE VAVS GOI	1,858.17
			W27173		01-26-025-72520 TROUBLESHOOT AND REPAIR LON	534.00
			W27178		01-26-025-72520 BOILER CONTROLLER SERVICE	3,915.00
				VTP-018784	01-26-025-72520 CONTROLLER REPLACEMENT	3,915.00

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195601	1/21/2022	012187 TOTAL AUTOMATION CONCEPTS, INC	(Continued) W27281		FURNACE 1 REPAIR- FIRE STATIOI 01-26-025-72520	623.00
			W27282		BUILDING DPT HEATING VALVE RE 01-26-025-72520	222.50
Total :						15,810.17
195602	1/21/2022	008040 UNDERGROUND PIPE & VALVE CO	052857-01		CLAMPS	
				VTP-018887	60-00-000-73630	409.50
				VTP-018887	63-00-000-73630	45.50
				VTP-018887	64-00-000-73630	195.00
Total :						650.00
195603	1/21/2022	002613 UNITED HEALTHCARE AARP	AARP-AP020122		JAN 22 PYMT FOR FEB 22 COVERA 01-26-025-72435	43.69
					01-17-205-72435	301.83
					01-13-000-72435	232.87
					60-00-000-72435	129.04
					01-17-205-72435	141.91
					60-00-000-72435	327.60
					01-15-000-72435	110.29
					01-26-024-72435	233.86
					01-26-023-72435	120.71
					60-00-000-72435	214.86
					01-17-205-72435	91.57
					60-00-000-72435	43.72
			AARP-PPAP020122		AARP POLICE PENSION JAN PMT/F 01-17-205-72435	2,355.53
Total :						4,347.48
195604	1/21/2022	007987 UNITED METHODIST CHURCH	020122		FEB'22 PARKING RENTAL 70-00-000-72621	1,200.00
Total :						1,200.00
195605	1/21/2022	011416 VERIZON WIRELESS	9897244790		ACCT 280481333-00001 DATA SVC 11-00-000-72127	73.68
					01-11-000-72127	216.06

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195605	1/21/2022	011416	VERIZON WIRELESS			
			(Continued)			
					01-12-000-72127	72.02
					01-13-000-72127	36.01
					01-15-000-72127	36.01
					01-16-000-72127	216.06
					01-17-220-72127	1,840.65
					01-17-205-72127	396.11
					01-19-000-72127	1,116.43
					01-19-020-72127	108.03
					01-21-210-72127	288.08
					01-26-023-72127	504.14
					01-26-025-72127	216.06
					01-33-000-72127	360.10
					01-35-000-72127	108.03
					60-00-000-72127	362.98
					63-00-000-72127	40.33
					64-00-000-72127	172.85
			9897244791		ACCT#2804813333-00003 MOBILE S	
					01-11-000-72120	307.01
					01-12-000-72120	178.60
					01-13-000-72120	84.30
					01-14-000-72120	11.90
					01-15-000-72120	42.15
					01-16-000-72120	262.54
					01-17-205-72120	4,226.67
					01-19-000-72120	181.57
					01-19-020-72120	256.92
					01-21-000-72120	48.85
					01-21-210-72120	214.15
					01-26-023-72120	1,180.37
					01-26-024-72120	133.41
					01-26-025-72120	262.18
					01-33-000-72120	275.05
					01-35-000-72120	42.15
					60-00-000-72120	472.92
					63-00-000-72120	52.55
					64-00-000-72120	225.20

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195605	1/21/2022	011416 VERIZON WIRELESS	(Continued) 9897246131		ACCT# 285837077-00001 TELLULAF 01-17-205-72127	8.50
Total :						14,630.62
195606	1/21/2022	006362 VILLAGE OF OAK LAWN	7741		WINTRUST REGIONAL WATER LOA 60-00-000-73221	8,920.57
			7752		WINTRUST UNUSED COMMIT FEE : 60-00-000-73221	20.77
Total :						8,941.34
195607	1/21/2022	010165 WAREHOUSE DIRECT WORKPL SOLTNS	5132802-0		PAPER	
			5141509-0		01-14-000-73110 DISINFECTANT WIPES	132.88
			5142280-0		01-26-025-73580 NOTE CUBE, WASTEBASEKT,DISPI	401.16
					01-26-023-73110	56.28
					01-26-024-73110	28.14
					60-00-000-73110	35.46
					63-00-000-73110	3.94
					64-00-000-73110	16.89
Total :						674.75
195608	1/21/2022	011055 WARREN OIL CO.	W1446413		DIESEL USED 12/30-1/11/22	
					01-19-000-73545	572.12
					60-00-000-73545	242.92
					63-00-000-73545	60.73
					64-00-000-73545	130.14
					01-26-023-73545	3,833.72
					01-14-000-73531	515.58
			W1446930		N.L. GAS USED 1/5-1/12/22	
					01-17-205-73530	1,027.23
					01-19-000-73530	55.37
					01-19-020-73530	11.59
					01-21-000-73530	21.72
					60-00-000-73530	105.52
					63-00-000-73530	26.38

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195608	1/21/2022	011055 WARREN OIL CO.	(Continued)		64-00-000-73530	56.53	
					01-26-023-73530	136.08	
					01-26-024-73530	55.31	
					01-33-300-73530	24.90	
					01-12-000-73530	12.53	
					01-14-000-73532	5.46	
					01-14-000-73531	229.60	
					14-00-000-73530	10.36	
					01-42-000-73530	28.24	
					Total :	7,162.03	
195609	1/21/2022	013263 WEST SIDE TRACTOR SALES	S05814		WIPER BLADES - EQUIPMENT #142		
					01-26-023-72530	177.10	
					Total :	177.10	
195610	1/21/2022	016927 WILL COUNTY DIVISION OF	010722		SIGNAL MAINT/C.H. 84-191ST ST AT		
					01-26-024-72775	890.40	
					Total :	890.40	
195611	1/21/2022	008226 WYMAN & COMPANY	46445		FRAMING FOR D.RIORDAN		
					01-98-000-99000	155.00	
					Total :	155.00	
100 Vouchers for bank code : apbank						Bank total :	446,235.14

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Voucher List
Village of Tinley Park

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Bank code : ipmq

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3756	1/18/2022	018837	INSURANCE PROGRAM MANAGERS GR	210323W028	PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	277.50
					Total :	277.50
3757	1/18/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019	PAYEE-PETERSON, JOHNSON & MI 01-14-000-72542	158.50
					Total :	158.50
3758	1/18/2022	018837	INSURANCE PROGRAM MANAGERS GR	200219W023	PAYEE-PETERSON JOHNSON & ML 01-14-000-72542	903.00
					Total :	903.00
3759	1/18/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024	PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542	2,096.66
					Total :	2,096.66
3760	1/18/2022	018837	INSURANCE PROGRAM MANAGERS GR	210731W002	PAYEE-VILLAGE OF TINLEY PARK 60-00-000-72542 63-00-000-72542 64-00-000-72542	961.09 183.06 490.35
					Total :	1,634.50
3761	1/18/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-IPMG 01-14-000-72542	29.66
					Total :	29.66
6 Vouchers for bank code : ipmq						Bank total : 5,099.82
109 Vouchers in this report						Total vouchers : 456,154.56

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Voucher List
Village of Tinley Park

Bank code : ipmq

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

_____ Village President

_____ Village Clerk

_____ Date

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Voucher List
Village of Tinley Park

Page: 1

Bank code : ap_py

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
126355	1/28/2022	004640 HEALTHCARE SERVICE CORPORATION	HCSVCS-PPPR020122		A/C#271855-HEALTH INS-JAN PMT/ 86-00-000-20430	20,864.79
			HCSVCS-PR020122		A/C#271855-HEALTH INS-JAN PMT/ 86-00-000-20430	22,886.78
Total :						43,751.57
1 Vouchers for bank code : ap_py						Bank total : 43,751.57

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Voucher List
Village of Tinley Park

Page: 2

Bank code : apbank

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195613	1/28/2022	012659 ADVANCE AUTO PARTS	6717202476616		CABIN AIR FILTER 01-17-205-72540	9.04
					Total :	9.04
195614	1/28/2022	010318 ADVOCATE CHRIST MEDICAL CNTR	011922		5 HEARTSAVER CPR/AED CARDS 01-19-020-73606	85.00
					Total :	85.00
195615	1/28/2022	002734 AIR ONE EQUIPMENT, INC	176909		PREVENTATIVE SVC ,AIR TEST,FIL 01-19-000-72750	860.00
			177116		SVC AIR MASKS AND AIRPACKS 01-19-000-72750	4,087.00
					01-19-000-74614	210.00
					01-19-000-72578	411.63
					Total :	5,568.63
195616	1/28/2022	002856 AIRY'S, INC	25841		WATER MAIN BREAK - 16343 OLCO 60-00-000-72745	1,901.09
					Total :	1,901.09
195617	1/28/2022	018847 AVEPOINT, INC.	2201187491	VTP-018910	SHAREPOINT BACKUP 01-16-000-72655	5,040.00
					Total :	5,040.00
195618	1/28/2022	018807 BAXTER & WOODMAN INC	0230921		190816.60 LAGRANGE RD UTIL-CS 62-00-000-72840	1,345.00
					Total :	1,345.00
195619	1/28/2022	002938 BEST TECHNOLOGY SYSTEMS INC.	BTL-21079-5	VTP-018561	POLICE DEPARTMENT SHOOTING I 01-26-025-72779	2,530.00
					Total :	2,530.00
195620	1/28/2022	016817 BEVERLY SNOW AND ICE INC	53084	VTP-018789	MUNICIPAL PARKING LOT SNOW R 01-26-023-72785	13,520.00
				VTP-018789	70-00-000-72740	8,495.00
					Total :	22,015.00
195621	1/28/2022	003304 CARLIN-MORAN LANDSCAPE INC	3895		TRUCKING FOR DISPOSAL	

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195621	1/28/2022	003304 CARLIN-MORAN LANDSCAPE INC	(Continued)	VTP-018938	60-00-000-72790	2,945.00
Total :						2,945.00
195622	1/28/2022	003328 CATCHING FLUIDPOWER INC	K93786-001		PH HOSE ASSY	
					01-26-024-73410	27.76
					01-26-023-73410	55.51
					60-00-000-73410	34.97
					63-00-000-73410	3.89
					64-00-000-73410	16.65
Total :						138.78
195623	1/28/2022	003229 CED/EFENGEE	4975-1009724		ELECTRICAL CODING TAPES	
					01-26-024-73570	200.10
					60-00-000-73570	23.35
					64-00-000-73570	20.00
					63-00-000-73570	23.35
			4975-1009725		INSULATING BOOT	
					01-26-024-73570	119.70
			4975-1009896		STRANDED BLACK AND WHITE WII	
					01-26-024-73570	287.44
			4975-1009909		600V IP FUSEHOLDER	
					01-26-024-73570	250.80
			5025-1003766		1/2 COND HGR W/BOLT	
					01-26-025-72520	0.49
Total :						925.23
195624	1/28/2022	015199 CHICAGO PARTS & SOUND LLC	2J0003420		REPAIR DOOR PANEL PD 19B	
					01-17-205-72540	85.00
			2J0003424		DOOR PANEL REPAIR PD 1A	
					01-17-205-72540	85.00
			2J0003446		REPLACE VIDEO SYSTEM JUNCTIC	
					01-17-205-72540	125.00
Total :						295.00
195625	1/28/2022	017349 CHICAGO STREET CCDD, LLC	21745		DUMP FEE 1/4/22 AND 1/6/22	
					01-26-023-72890	280.00

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195625	1/28/2022	017349	017349 CHICAGO STREET CCDD, LLC	(Continued)		Total : 280.00
195626	1/28/2022	003137	CHRISTOPHER B.BURKE ENGINEERNG		01.R160373.00008 POST 5 LIFT STA 61-00-000-72840	6,580.00
			171971		01.R160373.00027 WATER RATE ST 60-00-000-72840	710.01
					63-00-000-72840	78.89
					64-00-000-72840	338.10
			171972		01.R160373.0003C LIGHTING PHAS 30-00-000-75500	322.00
			171973		01.R160373.00002 INTERIM VILLAG 64-00-000-72840	167.50
			171974		01.R160373.00024 WATER MODEL I 60-00-000-75813	469.00
					63-00-000-75813	469.00
					64-00-000-75813	402.00
			171975		01.R160373.D0025 DOROTHY LN W 60-00-000-72840	455.02
					63-00-000-72840	50.56
					64-00-000-72840	216.67
			171976		01.R160373.D0026 IRONWOOD DR 60-00-000-72840	572.20
					63-00-000-72840	63.58
					64-00-000-72840	272.47
					Total : 11,167.00	
195627	1/28/2022	012057	COMCAST CABLE	8771401810265348	ACCT#8771401810265348 6829 173 01-19-000-72517	97.11
				8771401810316240	ACCT#8771401810316240 7850 183 01-17-205-72517	65.40
				8771401810784702	ACCT#8771401810784702 7825 167 01-19-000-72517	84.46
					Total : 246.97	
195628	1/28/2022	013878	COMED - COMMONWEALTH EDISON	0421064066	ACCT#0421064066 LAPORTE RD & 64-00-000-72510	277.67
				0471006428	ACCT#0471006425 19948 SILVERSI	

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Bank code : apbank

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195628	1/28/2022	013878	COMED - COMMONWEALTH EDISON	(Continued)		
					01-26-024-72510	77.47
			2922039023		ACCT#2922039023 9342 PARKWOC	
					01-26-024-72510	25.24
			4803158058		ACCT#4803158058 RIDGEFIELD LN	
					64-00-000-72510	168.38
			5437131000		ACCT#5437131000 7980 W 183RD S	
					01-26-025-72510	428.24
			5983017013		ACCT#5983017013 19112 S 80TH A	
					63-00-000-72510	271.93
					Total :	1,248.93
195629	1/28/2022	012826	CONSTELLATION NEWENERGY, INC.	61394867601	ACCT#875222 UTIL#36131255002 H	
					64-00-000-72510	725.78
			61394884501		ACCT#875227 UTIL#5095140029 17	
					64-00-000-72510	2,424.42
					Total :	3,150.20
195630	1/28/2022	018234	CORE & MAIN LP	Q194581	5'6 SERV BOX,1-1/2 CB LID W/PLUC	
					60-00-000-73630	761.58
					63-00-000-73630	84.62
					64-00-000-73630	362.66
					Total :	1,208.86
195631	1/28/2022	003635	CROSSMARK PRINTING, INC	85137	2022 FIELD DIRECTORY	
				VTP-018872	01-17-205-72310	994.28
					Total :	994.28
195632	1/28/2022	020346	CZESZEJKO, TOM	Ref001416725	UB Refund Cst #00512034	
					60-00-000-20599	302.41
					Total :	302.41
195633	1/28/2022	014690	DARLING INGREDIENTS INC	11962593	SANITATION TRAP FEE 6700 SOUTI	
					01-26-025-72530	155.00
					Total :	155.00
195634	1/28/2022	004009	EAGLE UNIFORM CO INC	INV-5663	BLANKET PO FOR CLASS B UNIFOI	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195634	1/28/2022	004009 EAGLE UNIFORM CO INC	(Continued)			
			INV-5677	VTP-018597	01-19-000-73610	120.00
			INV-5684	VTP-018598	01-19-000-73610	215.00
			INV-5687	VTP-018597	01-19-000-73610	350.00
			INV-5688	VTP-018597	01-19-000-73610	530.75
			RET-0125	VTP-018597	01-19-000-73610	578.75
					01-19-000-73610	-350.00
					Total :	1,444.50
195635	1/28/2022	011176 ELEMENT GRAPHICS & DESIGN, INC	18611		REFRESH PD UNIT20A CAR WRAP	
					01-17-205-72540	496.59
					Total :	496.59
195636	1/28/2022	017807 EMERGENCY VEHICLE SERVICE INC.	10837		PERFORM 2021 PUMP TESTING ON	
					01-19-000-72540	2,450.00
					Total :	2,450.00
195637	1/28/2022	012784 EMERGENCY VEHICLE TECHNOLOGIES	5824		SVC ON BAT#46	
					01-19-000-72550	140.00
					Total :	140.00
195638	1/28/2022	004119 ETP LABS INC.	22-135709		COLIFORM SAMPLES	
					60-00-000-72865	497.00
					63-00-000-72865	213.00
					Total :	710.00
195639	1/28/2022	004019 EVON'S TROPHIES & AWARDS	011022.		NAME PLATES-KOSMATKA,TRUXAL	
					01-26-025-72520	84.52
					Total :	84.52
195640	1/28/2022	012941 FMP	52-502108		RETURN OF INTAKE MANIFOLD	
					01-19-000-72540	-64.35

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195640	1/28/2022	012941 FMP	(Continued) 52-504170		KIT-TPMS SENSOR PD STOCK 01-17-205-72540	179.07
					Total :	114.72
195641	1/28/2022	020195 FOREST PRINTING COMPANY	109445		LETTERHEADS 01-14-000-72310	711.53
					Total :	711.53
195642	1/28/2022	020274 FRAME TECH 1 LLC	39039		WHEEL ALIGNMENT PD 2D 01-17-205-72540	130.00
			39051		WHEEL ALIGNMENT PD 1B 01-17-205-72540	75.00
					Total :	205.00
195643	1/28/2022	002877 G. W. BERKHEIMER CO., INC.	012885		767A-361 (41-405/I405) 5-1/4 IN 01-26-025-72520	18.74
			013777		VH FILTERS 01-26-025-72520	174.38
			013778		PD HVAC 01-26-025-72520	151.44
					Total :	344.56
195644	1/28/2022	018387 GBJ SALES, LLC	4173		BIO PAK ENZYMES	
				VTP-018923	60-00-000-73550	392.00
				VTP-018923	63-00-000-73550	392.00
				VTP-018923	64-00-000-73550	336.00
				VTP-018923	60-00-000-73550	9.24
				VTP-018923	63-00-000-73550	9.24
				VTP-018923	64-00-000-73550	7.92
					Total :	1,146.40
195645	1/28/2022	000863 GRAPHIC SCREEN PRINTING	15798		BLANKET PO FOR DUTY TSHIRTS & 01-19-000-73610	540.00
				VTP-018599		
					Total :	540.00
195646	1/28/2022	017574 GRAVES, JEFFREY	012422		PER DIEM LUNCH 1/10-1/12/22 TRA	

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Voucher List
Village of Tinley Park

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Bank code : apbank

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195646	1/28/2022	017574 GRAVES, JEFFREY	(Continued)		01-17-220-72140	45.00
Total :						45.00
195647	1/28/2022	004640 HEALTHCARE SERVICE CORPORATION	HCSVCS-AP020122		A/C#271855-HEALTH INS EXPENSE	
					01-15-000-72435	407.36
					01-16-000-72435	836.08
					01-19-020-72435	407.36
					01-21-210-72435	318.22
					64-00-000-72435	95.47
					63-00-000-72435	35.64
					60-00-000-72435	187.11
					01-26-025-72435	174.58
					60-00-000-72435	102.67
					63-00-000-72435	19.56
					64-00-000-72435	52.35
					01-26-025-72435	836.08
					01-26-023-72435	1,378.12
					60-00-000-72435	729.91
					64-00-000-72435	372.40
					63-00-000-72435	139.03
					01-26-023-72435	1,241.34
					01-26-024-72435	1,378.12
					60-00-000-72430	-0.11
			HCSVCS-PPAP020122		A/C#271855-HEALTH INS EXP-JAN \	
					01-17-205-72435	22,693.69
Total :						31,404.98
195648	1/28/2022	018696 HENRY'S HOUSE OF DECORATED	957	VTP-018898	WINTER HATS	
					01-19-000-73610	440.00
Total :						440.00
195649	1/28/2022	001487 HOMEWOOD DISPOSAL SERVICE	7692164		30YD EXCHANGE HAUL AND DUMP	
			7693044		01-26-023-72890	317.09
			7693277		SWEEPINGS	
					01-26-023-72890	2,079.00
					GARBAGE	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195649	1/28/2022	001487	HOMEWOOD DISPOSAL SERVICE	(Continued)	01-26-023-72890	672.10
					Total :	3,068.19
195650	1/28/2022	014777	HORBACZEWSKI, KEVIN	012422	REIMB LODGING AND PER DIEM FC 01-17-225-72140	183.00
					Total :	183.00
195651	1/28/2022	020343	ILLIANA BOARDUP LLC	SI-11555	SVC CALL FOR 7535 162ND ST 01-33-300-72744	648.00
					Total :	648.00
195652	1/28/2022	010333	ILLINOIS DEPT OF PUBLIC HEALTH	012122	RENEWAL FOR 10 EMD LICENSES 01-21-210-72140	200.00
					Total :	200.00
195653	1/28/2022	005186	INTERSTATE BATTERY SYSTEM	10074574	SLA1005 BATTERY - PD STOCK 01-17-205-72540	139.75
					Total :	139.75
195654	1/28/2022	020325	ISASCE	012022	VILLAGE ENGINEER AND ENG PRC 60-00-000-72446 01-26-023-72446	20.00 40.00
					Total :	60.00
195655	1/28/2022	005250	J & L DOORS, INC	747648	DOOR CLOSERS 01-26-025-72520	776.90
					Total :	776.90
195656	1/28/2022	005251	J AND R SALES AND SERVICE INC.	0346577	SPLINE SCREW AND LOCK NUT 01-26-023-73410	4.98
					Total :	4.98
195657	1/28/2022	005384	KIRBY SCHOOL DISTRICT # 140	011022	KIRBY SCHOOL DIST 140 IMPACT F 84-00-000-23106	26,400.00
					Total :	26,400.00
195658	1/28/2022	018292	KNICKERBOCKER ROOFING & PAVING	20116336	MAIN ROOF ARE REPAIR FD#3 919	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195658	1/28/2022	018292	KNICKERBOCKER ROOFING & PAVING	(Continued)	01-26-025-72520	1,158.75
					Total :	1,158.75
195659	1/28/2022	019217	LEGAL AND LIABILITY RISK	221411	SEMINAR NO.15736 F.MONDT 2/25/ 01-17-220-72140	150.00
					Total :	150.00
195660	1/28/2022	014402	LEXISNEXIS RISK DATA MNGMNT	1038013-20211231	DEC 2021 MIN COMMITMENT 01-17-225-72852	150.00
					Total :	150.00
195661	1/28/2022	006559	LINDE GAS & EQUIPMENT INC	68480244	ACETYLENE 12/20/21-1/20/22 01-26-024-73730 01-26-023-73730 60-00-000-73730 63-00-000-73730 64-00-000-73730	63.68 127.37 44.58 44.58 38.21
					Total :	318.42
195662	1/28/2022	003440	M. COOPER WINSUPPLY CO.	07754201	1/2 PXP LF BALL VLV AND 3/4 PXP I 60-00-000-73630 63-00-000-73630 64-00-000-73630	21.12 2.35 10.06
					Total :	33.53
195663	1/28/2022	007100	M. E.SIMPSON COMPANY, INC	38014	PRO-MAPS ONLINE SUBSCRIPTION VTP-018945 60-00-000-72655 VTP-018945 63-00-000-72655 VTP-018945 64-00-000-72655	1,890.00 210.00 900.00
					Total :	3,000.00
195664	1/28/2022	013969	MAP AUTOMOTIVE OF CHICAGO	40-646433 40-649742	CORE CREDIT 01-17-205-72540 PD STOCK PLENUM GSK AND SPAF 01-17-205-72540	-48.00 66.42
					Total :	18.42

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195665	1/28/2022	020322 MASTER AUTO SUPPLY	15030-113195		TIE ROD END PD 1B AND STOCK 01-17-205-72540	57.84
			15030-113268		MANIFOLD CONVERTER,GASKET F 01-17-205-72540	495.32
Total :						553.16
195666	1/28/2022	006074 MENARDS	1425		HINGE PIN DOOR STOP AND DR W. 01-26-025-73840	10.57
			16157		BENT SCRAPER,SHOE HANDLE BR 60-00-000-73410	20.35
					63-00-000-73410	2.26
					64-00-000-73410	9.69
			16202		LOCTITE PROSPRAY ADHESIVE 64-00-000-73840	8.41
			16211		CENTOCO ELNG WH SEAT 01-26-025-72520	21.99
			16213		GARAGE DOOR SPRAY 01-26-025-72520	6.49
			16221		45 GAL LATCH TOTE 60-00-000-73840	23.09
					63-00-000-73840	7.70
					64-00-000-73840	13.19
			16254		GARAGE DOOR SPRAY 01-26-025-72520	6.49
			16263		5 GAL MENARD PAIL,PROPANE CYI 60-00-000-73410	9.42
					63-00-000-73410	1.05
					64-00-000-73410	4.49
			16293		30G LATCH TUFF1 TOTE 01-26-024-73870	7.60
					01-26-023-73870	15.19
					60-00-000-73870	5.32
					63-00-000-73870	5.32
					64-00-000-73870	4.55
			16345		STICK DESK,60W A19 SW LED 10PI 01-19-000-72524	67.80
			16350		TOP SOIL	

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Voucher List
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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195666	1/28/2022	006074	MENARDS		(Continued)	
					60-00-000-73680	1.43
					63-00-000-73680	0.16
					64-00-000-73680	0.68
			16470		COPPER COUPLING, PIPES,SOLDE	
					01-26-025-72520	24.15
			16471		MNTG TAPE	
					01-26-025-72520	2.12
			16486		PRS REPR CPLNG	
					60-00-000-73630	19.20
					63-00-000-73630	2.13
					64-00-000-73630	9.14
			16521		ELITE POST MOUNT AND CLASSIC	
					01-26-023-73840	189.90
			16551		ROTARY TOOL KIT,BIMETAL HOLE S	
					60-00-000-73410	42.82
					63-00-000-73410	4.76
					64-00-000-73410	20.39
			16558		30G LATCH TUFF1 TOTE,45GAL LA	
					60-00-000-72540	3.77
					63-00-000-72540	1.26
					64-00-000-72540	2.56
					01-26-023-72540	7.19
					01-26-024-72540	3.59
					01-26-025-73580	30.14
					01-26-025-73870	235.49
			16663		4 SHELF MEDIUM DUTY AND 10"PA	
					01-26-023-73840	39.88
			16673		GALLON TOTE AND STEP LADDER	
					60-00-000-73870	3.35
					63-00-000-73870	3.35
					64-00-000-73870	2.87
					01-26-024-73870	4.79
					01-26-023-73870	9.58
					01-26-023-73410	137.02
					Total :	1,052.69

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195667	1/28/2022	005742 METRO POWER INC.	13490		FIRE STATION#1 & PUBLIC SAFETY 01-26-025-72790	259.90
			13491		SEMI ANNUAL PM SERVICE ON 8 G 60-00-000-72750	2,003.75
					63-00-000-72750	2,003.75
					64-00-000-72750	1,717.50
					60-00-000-72750	363.86
					63-00-000-72750	363.86
					64-00-000-72750	311.88
					Total :	7,024.50
195668	1/28/2022	018372 METROPOLITAN FIRE CHIEFS ASSOC	012522		DUES FOR STEPHEN KLOTZ 01-19-000-72720	40.00
					Total :	40.00
195669	1/28/2022	005664 MORTON SALT INC	5402479227		ROAD SALT FOR 2020/2021 WINTEI VTP-018790 01-26-023-73810	25,394.19
					VTP-018790 70-00-000-73810	945.53
					VTP-018790 08-00-000-73810	675.38
			5402487339		ROAD SALT 1/19/22 VTP-018790 01-26-023-73810	15,029.77
					VTP-018790 70-00-000-73810	559.62
					VTP-018790 08-00-000-73810	399.73
			5402488855		ROAD SALT 1/20/22 VTP-018790 01-26-023-73810	9,813.76
					VTP-018790 70-00-000-73810	365.41
					VTP-018790 08-00-000-73810	261.00
					Total :	53,444.39
195670	1/28/2022	017651 MSC INDUSTRIAL SUPPLY CO.	5140079001		CLAMPS,CABLE TIE,CRIMP,NUTSE 01-17-205-72540	57.00
					01-26-024-73840	19.45
					01-26-023-73840	124.00
					60-00-000-73840	21.24
					63-00-000-73840	2.36
					64-00-000-73840	10.11

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195670	1/28/2022	017651	017651 MSC INDUSTRIAL SUPPLY CO.	(Continued)		Total : 234.16
195671	1/28/2022	014443	MURPHY & MILLER, INC	JC1674	911 DUCT WORK 30-00-000-75004	4,900.00 Total : 4,900.00
195672	1/28/2022	015723	NICOR	64423710009	ACCT#64423710009 METER#335831	1,881.70
				81423710003	ACCT#81423710003 METER#28316	198.20
				90223493009	ACCT#90223493009 METER 508073	648.01
					01-26-025-72511	Total : 2,727.91
195673	1/28/2022	006221	NORTHERN SAFETY CO. INC.	904675287	NINJA FLEX GLOVES	
					60-00-000-73845	173.73
					63-00-000-73845	19.30
					64-00-000-73845	82.73
						Total : 275.76
195674	1/28/2022	013096	PACE SYSTEMS INC	IN00040825	NETWORK SURVEILLANCE CAMEF	
					30-00-000-74604	11,560.00
						Total : 11,560.00
195675	1/28/2022	006475	PARK ACE HARDWARE	067263/1	ACCT#89143 INV#067263/1 ACE SL	
				67225/1	ACCT#9404 INV#67225/1 CLEANING	11.99
					01-19-000-72220	47.88
					01-19-000-73870	158.51
					01-19-000-73580	534.86
					01-19-000-73585	156.90
						Total : 910.14
195676	1/28/2022	016097	PHOTOGRAPHY BY LARRY BURROWS	2022_001	BOARD PORTRAIT ON-LOCATION/V	
					01-11-000-72790	225.00
						Total : 225.00
195677	1/28/2022	006498	POLICE CHIEFS ASSC OF WILL CO	012022	MEMBERSHIP - TIM POULOS	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195677	1/28/2022	006498	POLICE CHIEFS ASSC OF WILL CO	(Continued)	01-17-205-72720	50.00
					Total :	50.00
195678	1/28/2022	013587	PROSHRED SECURITY	990107025	SHREDDING SVC PD 1/19/22 01-17-205-72750	169.60
					Total :	169.60
195679	1/28/2022	020282	QBF GRAPHICS GROUP	51709	PROMOTIONAL 1/4 ZIP UP PULLOV 01-35-000-73210	2,969.09
					Total :	2,969.09
195680	1/28/2022	006361	RAY O' HERRON CO INC	2169586	SS SHIRT NAVY LEONE 01-17-220-73610	116.97
					Total :	116.97
195681	1/28/2022	020328	ROACH, DANIEL	102	OID INVESTIGATION:WHAT TO EXP 01-17-220-72140	400.00
					Total :	400.00
195682	1/28/2022	006874	ROBINSON ENGINEERING CO. LTD.	21120220	21-R0430 TP SCANNELL DEV VOLL 01-14-000-72840	2,616.00
				21120221	21-R0612 TP PETE'S FRESH MARKI 28-00-000-72840	624.00
				21120222	21-R0681 TP OAK RIDGE SUBDIVIS 16-00-000-72840	6,129.00
				22010228	21-R0430 TP SCANNELL DEV VOLL 01-14-000-72840	7,330.50
				22010229	21-R0708 TP LOYOLA MEDICAL (17) 01-14-000-72840	3,942.50
				22010312	21-R0612 TP PETE'S FRESH MARKI 28-00-000-72840	931.50
					Total :	21,573.50
195683	1/28/2022	007629	SAM'S CLUB DIRECT	012022	PAPER TOWEL,BOWLS,WATER,SO 01-17-205-73315	10.38
					01-26-025-73580	221.88

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
195683	1/28/2022	007629 SAM'S CLUB DIRECT	(Continued)			
					01-14-000-73115	22.96
					60-00-000-73115	9.27
					63-00-000-73115	9.27
					64-00-000-73115	7.95
					01-26-023-73115	26.49
					01-26-024-73115	13.24
			012522		PAPER AND PAPERTOWEL	
					01-14-000-73110	179.88
					01-26-025-73580	19.84
					60-00-000-73110	26.45
					63-00-000-73110	2.94
					64-00-000-73110	12.59
					01-26-023-73110	11.99
					01-26-024-73110	5.99
					Total :	581.12
195684	1/28/2022	015405 SSACOP	012022		SSACOP DUES T.POULOS	
					01-17-205-72720	50.00
					Total :	50.00
195685	1/28/2022	012238 STAPLES BUSINESS ADVANTAGE	3495919393		PENS AND JACKET FILE	
					01-14-000-73110	62.66
			3495919395		LETTER SIZE STR BW LN 80LB	
					01-17-205-73110	19.99
			3496593593		THERMAL POS ROLS AND ERASER	
					01-14-000-73110	105.14
			3496593595		PENS,LEGAL SIZE POCKETS,BINDE	
					01-17-205-73110	124.79
			3497612267		POST IT,SIGN FLAGS,STENO PAD,F	
					01-14-000-73110	68.38
			3497612268		CD/DVD SLEEVES,DVD DISCS,THE	
					01-17-205-73110	125.99
					Total :	506.95
195686	1/28/2022	007297 SUTTON FORD INC./FLEET SALES	540310CM		SENSOR RETURN PD	
					01-17-205-72540	-58.46

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195686	1/28/2022	007297 SUTTON FORD INC./FLEET SALES	(Continued) 540410CM		RETURN WIRE ASY UNIT 83 60-00-000-72540	-8.17
					63-00-000-72540	-2.72
			544706		64-00-000-72540	-4.68
			545301		CHECK ASY DOOR PD 11A 01-17-205-72540	23.96
					LINK PD UNIT 2D 01-17-205-72540	111.33
					Total :	61.26
195687	1/28/2022	017520 THE COP FIRE SHOP	2058464		CITIZEN PD ACADEMY SHIRTS 01-17-215-73600	875.50
					Total :	875.50
195688	1/28/2022	007886 THEODORE POLYGRAPH SERVICE	7680		POLYGRAPH EXAM - R.EBER 01-17-205-72446	200.00
					Total :	200.00
195689	1/28/2022	020344 THIRION, KRISTIN	012622		REIMBURSEMENT FOR SENIOR BL 01-11-000-72220	27.42
					Total :	27.42
195690	1/28/2022	007777 THOMPSON ELEVATOR INSPECTION	22-0188		SEMI ANNUAL ELEVATOR RE-INSPE 01-33-300-72853	38.00
					Total :	38.00
195691	1/28/2022	012187 TOTAL AUTOMATION CONCEPTS, INC	W27479		BOILERS AND PUMPS SERVICE - V 01-26-025-72520	534.00
					Total :	534.00
195692	1/28/2022	013200 TRIBUNE PUBLISHING COMPANY	046919263000		CLASSIFIED LISTINGS 12/1-12/31/2 01-26-025-72330	261.00
					01-14-000-72330	58.50
					01-33-310-72330	154.50
					Total :	474.00
195693	1/28/2022	008040 UNDERGROUND PIPE & VALVE CO	053156		CLAMPS	

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195693	1/28/2022	008040 UNDERGROUND PIPE & VALVE CO	(Continued)			
				VTP-018936	60-00-000-73630	469.35
				VTP-018936	63-00-000-73630	52.15
				VTP-018936	64-00-000-73630	223.50
				VTP-018936	60-00-000-73630	225.54
				VTP-018936	63-00-000-73630	25.06
				VTP-018936	64-00-000-73630	107.40
				VTP-018936	60-00-000-73630	250.74
				VTP-018936	63-00-000-73630	27.86
				VTP-018936	60-00-000-73630	213.57
				VTP-018936	63-00-000-73630	23.73
				VTP-018936	64-00-000-73630	221.10
					Total :	1,840.00
195694	1/28/2022	010579 UNIVERSITY OF ILLINOIS	UPI10789		POLICE TACTICAL FIREARMS #345	
					01-17-220-72140	1,162.00
					Total :	1,162.00
195695	1/28/2022	018250 VERIZON CONNECT NWF INC	OSV000002646403		CUST ID TINL001 12/1-12/31/21	
					01-26-023-72790	275.23
					Total :	275.23
195696	1/28/2022	010165 WAREHOUSE DIRECT WORKPL SOLTNS	5109103-0		METAL FILE DIVIDER	
			5151152-0		01-26-025-74110	290.00
					TONER DRUM	
					01-26-024-73110	19.06
					01-26-023-73110	38.12
					60-00-000-73110	24.02
					63-00-000-73110	2.67
					64-00-000-73110	11.44
					Total :	385.31
195697	1/28/2022	011055 WARREN OIL CO.	W1448502		N.L. GAS USED 1/13-1/19/22	
					01-17-205-73530	12,138.45
					01-19-000-73530	472.12
					01-19-020-73530	74.82
					01-21-000-73530	184.89

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
195697	1/28/2022	011055 WARREN OIL CO.	(Continued)			
					60-00-000-73530	932.34
					63-00-000-73530	233.09
					64-00-000-73530	499.47
					01-26-023-73530	2,456.07
					01-26-024-73530	819.55
					01-33-300-73530	166.83
					01-12-000-73530	120.40
					01-14-000-73531	3,686.68
					01-42-000-73530	522.86
					Total :	22,307.57

85 Vouchers for bank code : apbank

Bank total : 275,684.39

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3762	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201019W041	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	1,521.37 Total : 1,521.37
3763	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-1	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	85.10 Total : 85.10
3764	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	98.90 Total : 98.90
3765	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-1	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	139.19 Total : 139.19
3766	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-2	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	139.19 Total : 139.19
3767	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-3	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	139.19 Total : 139.19
3768	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-4	PAYEE-ENCOMPASS SPECIALTY NE 01-14-000-72542	139.19 Total : 139.19
3769	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008	PAYEE-GENEX SERVICES 01-14-000-72542	190.00 Total : 190.00
3770	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	210323W028	PAYEE - NORBERT NOEL 01-14-000-72542	11.27 Total : 11.27
3771	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024	PAYEE-PARKVIEW ORTHOPAEDIC () 01-14-000-72542	201.07

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
3771	1/25/2022	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)			Total : 201.07
3772	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-1		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	78.54
					Total :	78.54
3773	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-2		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	100.74
					Total :	100.74
3774	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-3		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	251.90
					Total :	251.90
3775	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-4		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	166.32
					Total :	166.32
3776	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-5		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	166.32
					Total :	166.32
3777	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-6		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	207.07
					Total :	207.07
3778	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-7		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	207.07
					Total :	207.07
3779	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-8		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	166.32
					Total :	166.32
3780	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR 201119W024-9		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	791.33
					Total :	791.33

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<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>	
3781	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024-10	PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542	211.15	
					Total :	211.15	
3782	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024-11	PAYEE-PRESCRIPTION PARTNERS (01-14-000-72542	7.92	
					Total :	7.92	
3783	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024-12	PAYEE-PRESCRIPTION PARTNERS (01-14-000-72542	88.49	
					Total :	88.49	
3784	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	201119W024-13	PAYEE-STAT ANESTHESIA (01-14-000-72542	937.05	
					Total :	937.05	
3785	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	210421W008-1	PAYEE-VILLAGE OF TINLEY PARK (01-14-000-72542	1,704.52	
					Total :	1,704.52	
3786	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	210526W019	PAYEE-VILLAGE OF TINLEY PARK (01-14-000-72542	2,247.68	
					Total :	2,247.68	
3787	1/25/2022	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-5	PAYEE-VILLAGE OF TINLEY PARK (01-14-000-72542	1,113.02	
					Total :	1,113.02	
26 Vouchers for bank code : ipmq						Bank total :	11,109.91
112 Vouchers in this report						Total vouchers :	330,545.87

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Voucher List
Village of Tinley Park

Bank code : ipmq

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

_____ Village President

_____ Village Clerk

_____ Date

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-006

AN ORDINANCE GRANTING A SPECIAL USE FOR SUBSTANTIAL DEVIATION FROM THE BROOKSIDE GLEN PUD TO PERMIT CHANGES ON A PREVIOUSLY APPROVED DEVELOPMENT WITH FOUR MULTI-FAMILY STRUCTURES WITH 36 DWELLING UNITS PER STRUCTURE, A CLUBHOUSE WITH OUTDOOR SWIMMING POOL, AND ASSOCIATED RESIDENTIAL AMENITIES (THE MAGNUSON/THE RESIDENCES AT BROOKSIDE GLEN)

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2022-O-006**AN ORDINANCE GRANTING A SPECIAL USE FOR SUBSTANTIAL DEVIATION FROM THE BROOKSIDE GLEN PUD TO PERMIT CHANGES ON A PREVIOUSLY APPROVED DEVELOPMENT WITH FOUR MULTI-FAMILY STRUCTURES WITH 36 DWELLING UNITS PER STRUCTURE, A CLUBHOUSE WITH OUTDOOR SWIMMING POOL, AND ASSOCIATED RESIDENTIAL AMENITIES (THE MAGNUSON/THE RESIDENCES AT BROOKSIDE GLEN)**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for the granting of a Special Use for a Substantial Deviation from the Brookside Glen Planned Unit Development (Ordinance #2000-O-006) to allow changes to approved site plans, elevations, and other approved documents in a previously approved Substantial Deviation (Ordinance #2017-O-072) for 4 multi-family structures with 36 dwelling units in each structure, located at 19248-88 Magnuson Lane Tinley Park, Illinois 60487 (“Subject Property”) has been filed by Karli Mayer on behalf of One Magnuson Lane, LLC (“Petitioner”) with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Special Use Permit should be granted on November 18, 2021 (continued with no discussion), December 16, 2021 (continued after discussion with direction), and January 6, 2022 at the Village Hall of this Village of Tinley Park (“Village”), at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted 5-3 and has filed its report of findings, recommendations, and conditions regarding the Special Use for a Substantial Deviation with this Village President and Board of Trustees, and this Board of Trustees has duly considered said report, findings, and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special Use for a Substantial Deviation; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Special Use Permit for a Substantial Deviation set forth in Section VII.B.6 and Section X.J.5 of the Zoning Ordinance, and the proposed granting of the Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - *The proposed design changes are largely aesthetic with no major changes to the site plan, thus will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Additional factors were considered in the previous PUD approval.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - *The proposed design changes include a proposed architectural façade primarily of brick and stone veneer with double transom windows on the residential top floor. These architectural features, along with the reduction in 5'-0 1/8" of building height will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values in the neighborhood.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - *The proposed design changes are largely aesthetic with no major changes in the site plan, thus will not impede the normal and orderly development and improvement of surrounding property.*

- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - *The proposed design changes do not affect changes to utilities, access roads, drainage and/or other necessary facilities.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
 - *The proposal will not change the previously approved ingress and egress. The density has not changed from the previous approval within Ordinance 2017-O-072.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
 - *The proposal will adjust the currently approved building setbacks from 17'-9 5/8" to 63'-0 3/8" (noted in the ordinance as 18-27 feet) building setbacks to allow 16.6' to 69'-11". Other previously approved exceptions which will remain are building height and floor area ratio.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
 - *The proposed design changes are largely aesthetic. The scale of the project remains the same from the previous approval per Ordinance 2017-O-072, which contributes to the economic development of the community as a whole.*

SECTION 3: The Special Use Permit for a Substantial Deviation set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION:

PARCEL 1 - THAT PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT "A" IN BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1, BEING A SUBDIVISION IN THE NORTHEAST 1/4 AFORESAID; THENCE NORTH 05 DEGREES 49 MINUTES 00 SECONDS WEST 101.08 FEET ALONG THE WEST LINE OF SAID LOT "A"; THENCE SOUTH 89 DEGREES 22 MINUTES 42 SECONDS WEST 228.92 FEET; THENCE NORTH 00 DEGREES 37 MINUTES 18 SECONDS WEST 220.0 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 22 MINUTES 42 SECONDS EAST 172.42 FEET TO A LINE 16.0 FEET NORTHWESTERLY OF AND PARALLEL WITH THE MOST NORTHWESTERLY LINE OF BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 AFORESAID; THENCE NORTH 46 DEGREES 56 MINUTES 29 SECONDS EAST ALONG SAID PARALLEL LINE 73.62 FEET;

THENCE NORTH 41 DEGREES 45 MINUTES 47 SECONDS WEST 293.11 FEET TO A POINT OF CURVE; THENCE NORTHERLY ALONG AN ARC OF A CIRCLE CONVEX WESTERLY AND HAVING A RADIUS OF 283.0 FEET FOR A DISTANCE OF 446.38 FEET TO A POINT OF TANGENCY (THE CHORD OF SAID ARC HAVING A BEARING OF NORTH 03 DEGREES 25 MINUTES 26 SECONDS EAST AND A DISTANCE OF 401.53 FEET); THENCE NORTH 48 DEGREES 36 MINUTES 38 SECONDS EAST TANGENT TO THE LAST DESCRIBED ARC 398.12 FEET; THENCE NORTH 41 DEGREES 23 MINUTES 22 SECONDS WEST 85.0 FEET; THENCE SOUTH 48 DEGREES 36 MINUTES 38 SECONDS WEST 85.0 FEET; THENCE NORTH 41 DEGREES 23 MINUTES 22 SECONDS WEST 115.0 FEET; THENCE SOUTH 48 DEGREES 36 MINUTES 38 SECONDS WEST 320.0 FEET; THENCE NORTH 79 DEGREES 18 MINUTES 50 SECONDS WEST 102.08 FEET TO THE EASTERLY RIGHT OF WAY LINE OF COMMONWEALTH EDISON COMPANY PROPERTY; THENCE SOUTH 10 DEGREES 53 MINUTES 33 SECONDS WEST ALONG SAID RIGHT OF WAY LINE 529.13 FEET; THENCE SOUTH 27 DEGREES 33 MINUTES 20 SECONDS EAST 358.30 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 42 SECONDS EAST 117.0 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PARCEL 2 - THAT PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT "A" IN BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1, BEING A SUBDIVISION IN THE NORTHEAST 1/4 OF SAID SECTION 11 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF LOT "A" IN BROOKSIDE GLEN P.U. D. TOWN HOMES PHASE 1, BEING A SUBDIVISION IN THE NORTHEAST 1/4 AFORESAID; THENCE NORTH 05 DEGREES 49 MINUTES 00 SECONDS WEST 101.08 FEET ALONG THE WEST LINE OF SAID LOT "A" TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 22 MINUTES 42 SECONDS WEST 228.92 FEET; THENCE NORTH 00 DEGREES 37 MINUTES 18 SECONDS WEST 220.0 FEET; THENCE NORTH 89 DEGREES 22 MINUTES 42 SECONDS EAST 172.42 FEET TO A LINE 15.0 FEET NORTHWESTERLY OF AND PARALLEL WITH THE MOST NORTHWESTERLY LINE OF BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 AFORESAID; THENCE NORTH 46 DEGREES 56 MINUTES 29 SECONDS EAST ALONG SAID PARALLEL LINE 73.62 FEET; THENCE SOUTH 41 DEGREES 45 MINUTES 47 SECONDS EAST 15.0 FEET TO THE NORTHWESTERLY LINE OF BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 AFORESAID, BEING THE MOST NORTHERLY CORNER OF LOT "A" IN SAID SUBDIVISION; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT II "A" BEING AN ARC OF A CIRCLE CONVEX SOUTHERLY AND HAVING A RADIUS OF 233.01 FEET FOR A DISTANCE OF 20.0 FEET (THE CHORD OF SAID ARC HAVING A BEARING OF SOUTH 45 DEGREES 31 MINUTES 06 SECONDS EAST AND A DISTANCE OF 19.99 FEET); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST 31.33 FEET TO THE NORTHWESTERLY LINE OF LOT "A" AFORESAID; THENCE SOUTH 13 DEGREES 41 MINUTES 28 SECONDS WEST ALONG SAID NORTHWESTERLY LINE 56.61 FEET TO AN ANGLE POINT THEREIN; THENCE SOUTH 05 DEGREES

49 MINUTES 00 SECONDS EAST ALONG THE WEST LINE OF SAID LOT "A" A DISTANCE OF 166.92 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS; EXCEPTING THEREFROM THAT PART FALLING IN LOT "A" AND DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST NORTHERLY CORNER OF LOT "A" IN BROOKSIDE GLEN P.U.D. TOWNHOMES PHASE 1 RECORDED AS DOCUMENT NO. R97-14827; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT II A" BEING AN ARC OF A CIRCLE CONVEX SOUTHERLY AND HAVING A RADIUS OF 233.01 FEET FOR A DISTANCE OF 20.0 FEET (THE CHORD OF SAID ARC HAVING A BEARING OF SOUTH 45 DEGREES 31 MINUTES 06 SECONDS EAST A DISTANCE OF 19.99 FEET); THENCE SOUTH 46 DEGREES 56 MINUTES 29 SECONDS WEST 31.33 FEET TO THE NORTHWESTERLY LINE OF LOT "A" AFORESAID; THENCE NORTHEASTERLY ALONG THE NORTHERLY LINE OF LOT "A" TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PINs: 19-09-11-200-013-0000 and 19-09-11-200-015-0000

COMMONLY KNOWN AS: 19248-88 Magnuson Lane, Tinley Park, IL 60487

SECTION 4: That a Special Use Permit for a Substantial Deviation, as defined in Zoning Ordinance Section VII.B.6., from the previously approved Brookside Glen Planned Unit Development (Ord. #2000-O-006) and previously approved Substantial Deviation (Ord. #2017-O-072) at certain property described in the above section, to permit changes on the previously approved development with four (4) multi-family structures with thirty-six (36) dwelling units per structure, a clubhouse with outdoor swimming pool and associated residential amenities in accordance with the "List of Reviewed Plans" attached hereto as **Exhibit A**, subject to the following new or revised exceptions and conditions:

The Special Use Permit includes the following exceptions:

1. An exception to the Village requirement for the front yard setback to allow the residential structures to be set back ranging from 16.6 feet to 69'-11", as calculated from the building face.
2. A 3'-7/8" exception (a reduction of 5'-1/8" from the previously approved exception) to the maximum building height requirement within Ordinance 2000-O-006 to allow the structures at a building height of 65' where 56' is the maximum height allowed; and
3. An exception of 0.055 to the Village requirement for floor area (FAR) to allow a FAR of 0.655 where 0.6 is the maximum FAR allowed.

The Special Use Permit includes the following conditions:

4. The development's exterior mechanicals including rooftop units, PTEC units, intake and exhaust vents shall match the color of the surrounding material.
5. The 1/2" thin brick and 4" brick veneers shall visually match (to be burned and colored in the same manner).

6. Canopy pier materials on the residential front and rear entry points shall be coordinated and be covered on all sides with brick.
7. Clubhouse rear (west) elevation's horizontal separation between the lower and upper level shall solely be continuous cut stone sill.
8. The balcony and railing system shall be bolt-on aluminum in a powder coat finish complementary to the building's design, to be reviewed and approved by Staff prior to issuance of the building permit.
9. A Letter of Credit, performance bond, or other security deemed acceptable by the Village Board to secure completion of the project consistent with the approved submittals.
10. The Petitioner shall adhere to the construction schedule as established. Construction is estimated to commence within 60 days of the issuance of a permit. Petitioner will be required to submit for a building permit three months after approval by the Village Board. Construction is estimated to last for 24-36 months from the issuance of a building permit. Construction of clubhouse and amenities to be completed prior to or simultaneously with the first residential building.
11. All revised submittals shall be submitted to staff for review and prior to being heard by the Village Board.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 1st day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 COUNTY OF WILL)

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-006, “AN ORDINANCE GRANTING A SPECIAL USE FOR SUBSTANTIAL DEVIATION FROM THE BROOKSIDE GLEN PUD TO PERMIT CHANGES ON A PREVIOUSLY APPROVED DEVELOPMENT WITH FOUR MULTI-FAMILY STRUCTURES AND 36 DWELLING UNITS PER STRUCTURE, A CLUBHOUSE WITH OUTDOOR SWIMMING POOL, AND ASSOCIATED RESIDENTIAL AMENITIES (THE MAGNUSON/THE RESIDENCES AT BROOKSIDE GLEN),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

Exhibit A**LIST OF REVIEWED PLANS - Proposed Plan Changes**

Submitted Sheet Name	Prepared By	Date On Sheet
Previously Approved PUD Plan Set – Ordinance 2017-O-072	ASL	12-5-2017
Drawing Submittal, 24 sheets, received _____	ASL	_____
List of changes from Petitioner received December 9, 2021	ASL	N/A
Statement of Findings from Architectural Design Review (<i>East Façade Elevation Only</i>)	Farnsworth Group	11-11-2021
Balcony System Excerpts from Manufacturer’s Website (https://mwstairs.com/prefabricated-balcony-system/)	Staff	Accessed 12-29-2021

ASL = Architectural Studio, Ltd.

WHAT ARE PREFAB BOLT-ON BALCONIES?

These prefab bolt-on balconies are the only balcony systems that save time, look great, and last.

Uniquely, each prefab bolt-on balcony is aluminum, welded complete, and ready to go. In effect, these prefab balcony systems benefit the architect, general contractor, property owner, and resident. **And everyone likes the elimination of a cantilever balcony system!** Altogether you get cost value through fast install times and longevity.

Architects like so many modern railing designs, shapes, and color choices.

General Contractors like the simplicity of install, without the headache of tinker toys.

Property owners like to impress residents with stability and style and maintenance-free properties.





Can't believe how fast these are going on the building! 24 balconies installed in 5 hours.

FULL SERVICE

INHOUSE POWDER COAT FINISH

Choose from the most core powder coat colors in the industry. Or upgrade for a full spectrum of powder coat colors. Comparatively, an in-house powder coat system helps accelerate timelines and saves from multiple trucking scenarios. In essence, you can go wild with a different balcony railing and floor color.

VILLAGE OF TINLEY... SMOOTH JOIST FREE SOFFIT

A smooth joist-free soffit is standard on these prefabricated bolt-on balconies. Because a joist-free deck just looks better as a finished appearance. So often, people look up to see unsightly wood balcony rafters. By and large, a joist-free aluminum deck complements building design. Additionally, a smooth soffit offers many color design options.

NATIONAL SHIPPING

Now shipping from coast to coast, all in one piece or flat packed. Certified installers available in the Wisconsin area. Installer training available nationally.

100% WELDED

Safety, installation speed, and aesthetics are primary. So, you get balconies welded into a streamlined piece with no unsightly and unsafe screw connections. Other manufacturers use less secure, unattractive, and chaotic methods. And fully welded aluminum construction means fast installation, rust-free longevity, and stable railings.

VALUE ENGINEERING

This method is value-engineered to save on the most expensive cost of field labor. For this reason, all bolt-on balcony systems are custom-made and require our engineer review process. Additionally, value engineering will ensure a smooth transition from design to finish.

SECURE STABILITY

Get wobbly-free balcony railings and floor. And leave out the question of safety. Because welded frames and skimp-free aluminum material creates solid ground while you're up high. For this reason, we use more aluminum material than most to **minimize deflection**. After all, how the resident feels is what matters.



PRE-ASSEMBLED BALCONY SHIPPING

Here are a few examples of prefab bolt-on balcony shipments:

Scott at Brush Park, Detroit, MI, 177 balconies

Lindell Residence, St Louis, MO, 200 balconies

IndiGo, Bloomington, MN, 300 balconies

NorthShore 770, Northbrook, IL, 370 balconies

Lake & Freemont, Minneapolis, MN, 147 balconies

89 Anderson, Portland, MN, 50 balconies





BALCONY ALUMINUM RAILING OPTIONS

Get install ready balconies with railings welded to balcony frames.

LEARN HOW WE HELP YOUR ROLE

MULTIPLE RAILING OPTIONS AVAILABLE **MORE TO BE CREATED**

Aluminum railings are fully welded to the balcony for install readiness and added safety. The picket railing is a standard option, and probably the most popular for multi-family commercial properties, followed by the mesh or grid panel railings.

Add a splash of color with acrylic railing. Open up balcony views with glass railing. Belly picket railing adds an element of elegance to your project. Ask about long lasting standard or **customized powder coat colors**.



Mesh or Grid Panel Railing



PROTECTIVE POWDER COATING BALCONIES

The best protective coating for aluminum balconies is powder coating. Now serving as an Approved Applicator of Powdura 4000 Architectural coatings.

LEARN HOW WE HELP YOUR ROLE

WHAT IS THE BEST PROTECTIVE COATING FOR BALCONIES?

The best protective coating option for balconies is powder coating.

Powder coating is one of the best options to protect aluminum balconies. For this reason, powder coating is a popular paint option for aluminum items such as windows, light poles, guardrails, signs, posts, and fencing. Most of your patio furniture has a powder coat finish.

Unless a manufacturer has a powder coat line, the product will have to go through multiple transport scenarios to complete the paint process. Because of this Midwest Stairs & Iron has a powder coat line to reduce production timelines and cost of the prefabricated bolt-on balconies.

Powder coating provides many benefits for balconies:

- Better for the environment—no solvents and low VOCs, thereby compliance with the US Environmental Protection Agency
- Looks better for a longer period of time—lasts longer over most other paint methods
- Minimal paint waste—unused powder can be recovered and reused
- Economical over most color options—less than a high quality wet paint
- Resistant to chipping, scratching, fading, and wearing
- Virtually unlimited finish and color selection—flat, satin, gloss, high gloss, metallic, clear, iridescent, fluorescent, hammer tone, etc.
- Long lasting color vibrancy
- One coat is twice as thick as most paints
- Great for high use items—flexible with vibration and jarring
- Resistant to environmental elements—weather, atmosphere, chemicals, everyday use

- Supports a healthy workplace—little to no short or long-term health, fire, or other workplace dangers

Clay
Bronze
RAL7037
Sandstone
RAL7045
Satin Black
Anodize Silver
RAL8007
Bone White

Standard Balcony Paint Colors

(Meets the AAMA 2604 Specifications for Paint) Read more about High Performing AAMA 2604 Paint Specs here.

Powder Coating Process

The powder coating process involves charging powder paint particles that adhere to electrically grounded surfaces. Then the powder color heats and cures in a curing oven. As a result, the balcony paint finish is uniform, durable, high quality and attractive. Conversely, the challenging aspect of powder coating is any retouching has to be conducted at a powder coating facility for durability, or use regular touch up paint. Therefore nicks and scratches during transport and install can be retouched to match the paint color, but the onsite retouching won't hold the same adherent benefits of powder coating. In that sense, extra care should be made during transport and install to retain the powder coating.

AAMA 2604 Powder Coat Paint Specifications

AAMA 2604 powder coat paint specifications are met on every aluminum balcony. For example, this **high level of paint specification means you have five (5) year South Florida** outdoor weather assurance, humidity resistance, gloss retention, and color retention, all with proper maintenance. Other coatings less than a 2604 classification cannot make this real-world exposure in South Florida claim.

Alternative Balcony Paint Color Considerations

Knowingly, wood balconies can only use traditional paint or staining methods. The upkeep to keep a wood balcony looking good far surpasses the time and money of powder coating. In addition, steel balconies can be powder coated to help prevent rust, but the steel can still rust if any areas become exposed. And the rust repair of steel could take a lot of time and material cost.

Color in Architecture

Color brings architecture to life. As an example, balcony color can attract renters to a multifamily apartment building, and stand out among surrounding

architecture. Read more on how powder coated balcony color was used at the
Trio in Milwaukee to stand out.

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Architectural Studio, Ltd.

www.archstudioil.net

Keynote Legend

Key Value	Keynote Text
006	Fire Pit
008	Pergola- See sheet A-005 for further information
009	Game Area
010	Seating Area
011	Pool- designed by others. Pool drawings to be submitted under separate permit
012	Cabana
016	Disk Golf Basket
018	Commercial electric car charging station
020	Existing Ingress/ Egress Easement
021	Landbanked Parking
025	Comed Transformer and Pad
029	Green Roof
030	4'-0" High fence w/ lockable gates.
031	(17) gas meters- Provide landscape screening from the R.O.W.
033	Street Workout Area (Circuit Training) with Poured-in-place rubber playground surface
035	Neural Fat Waste Station Model E31 by Pet-wasteEliminator.com 1-800-790-8896
036	Ground signage
038	Security camera
039	Ramp at max of 1:12 w/ Provide 24" deep detectable warning (truncated domes)
039	Marked cross walk
040	Concrete pier (support of 2nd floor balconies) to be wrapped with this stone

Site Data

Lot Area: 332,991.24 SF
 Min. Open Space: 144 x 750 = 108,000 SF 2.48 Acres
 Actual Open Space: 332,991.24 x 10% = 33,299.12 SF
 W/O Landbank Parking: W/ Landbank Parking: .654 | .656 (As Approved)
 Max Building Height: 70'-4 7/8" | 75'-5" (As Approved)

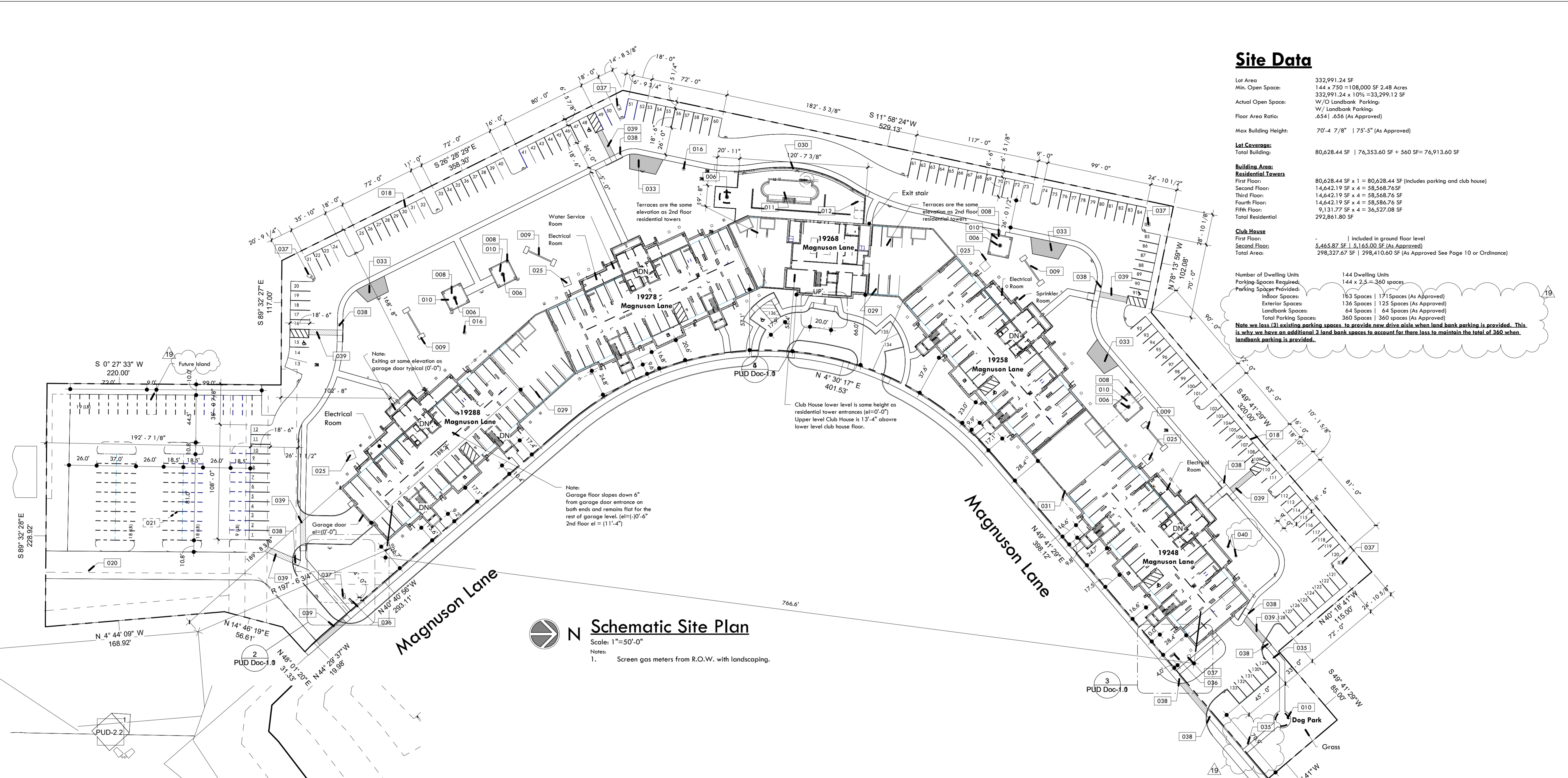
Lot Coverage: 80,628.44 SF | 76,353.60 SF + 560 SF = 76,913.60 SF

Building Areas:
Residential Towers:
 First Floor: 80,628.44 SF x 1 = 80,628.44 SF (includes parking and club house)
 Second Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Third Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Fourth Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Fifth Floor: 9,121.77 SF x 4 = 36,527.08 SF
 Total Residential: 292,861.80 SF

Club House:
 First Floor: Included in ground floor level
 Second Floor: 5,465.87 SF | 5,165.00 SF (As Approved)
 Total Area: 298,327.67 SF | 298,410.60 SF (As Approved See Page 10 or Ordinance)

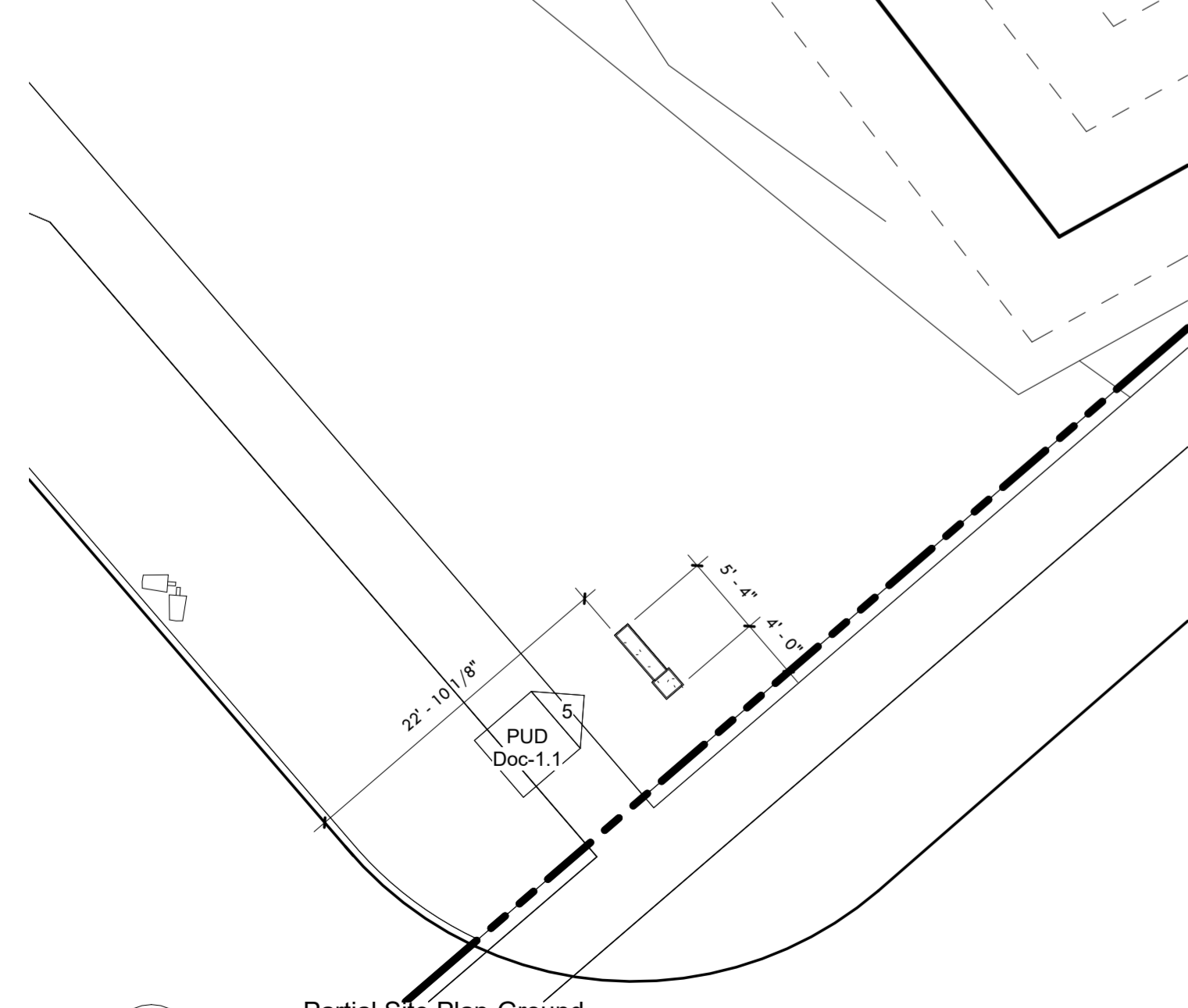
Number of Dwelling Units: 144 Dwelling Units
 Parking Spaces Required: 144 x 2.5 = 360 spaces
 Landbanked Parking: 163 Spaces | 171 Spaces (As Approved)
 Exterior Spaces: 136 Spaces | 125 Spaces (As Approved)
 Landbank Spaces: 64 Spaces | 64 Spaces (As Approved)
 Total Parking Spaces: 360 Spaces (As Approved)

Note: we lose (3) existing parking spaces to provide new drive aisle when land bank parking is provided. This is why we have an additional 3 land bank spaces to account for these loss to maintain the total of 360 when landbank parking is provided.

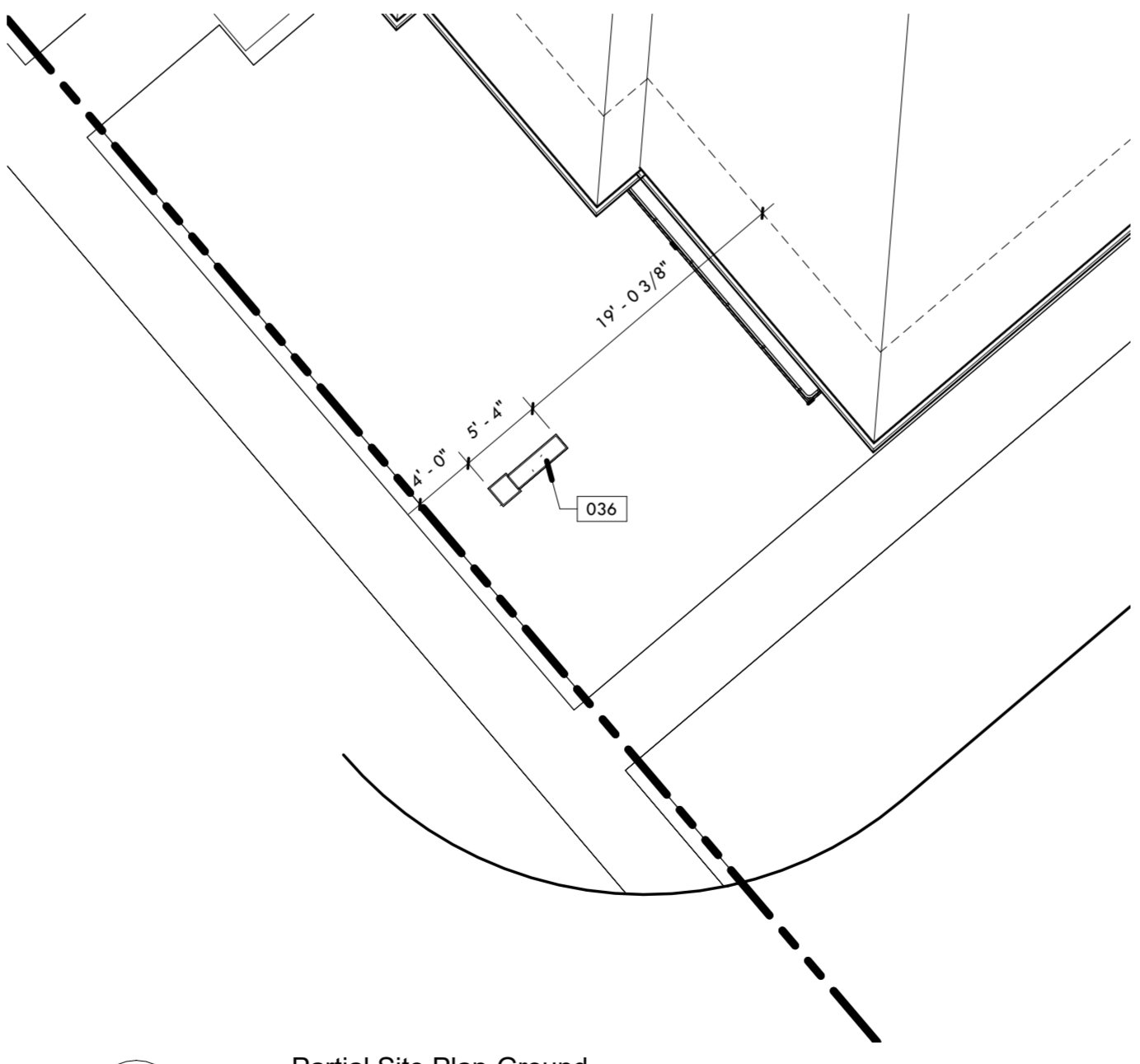


Schematic Site Plan

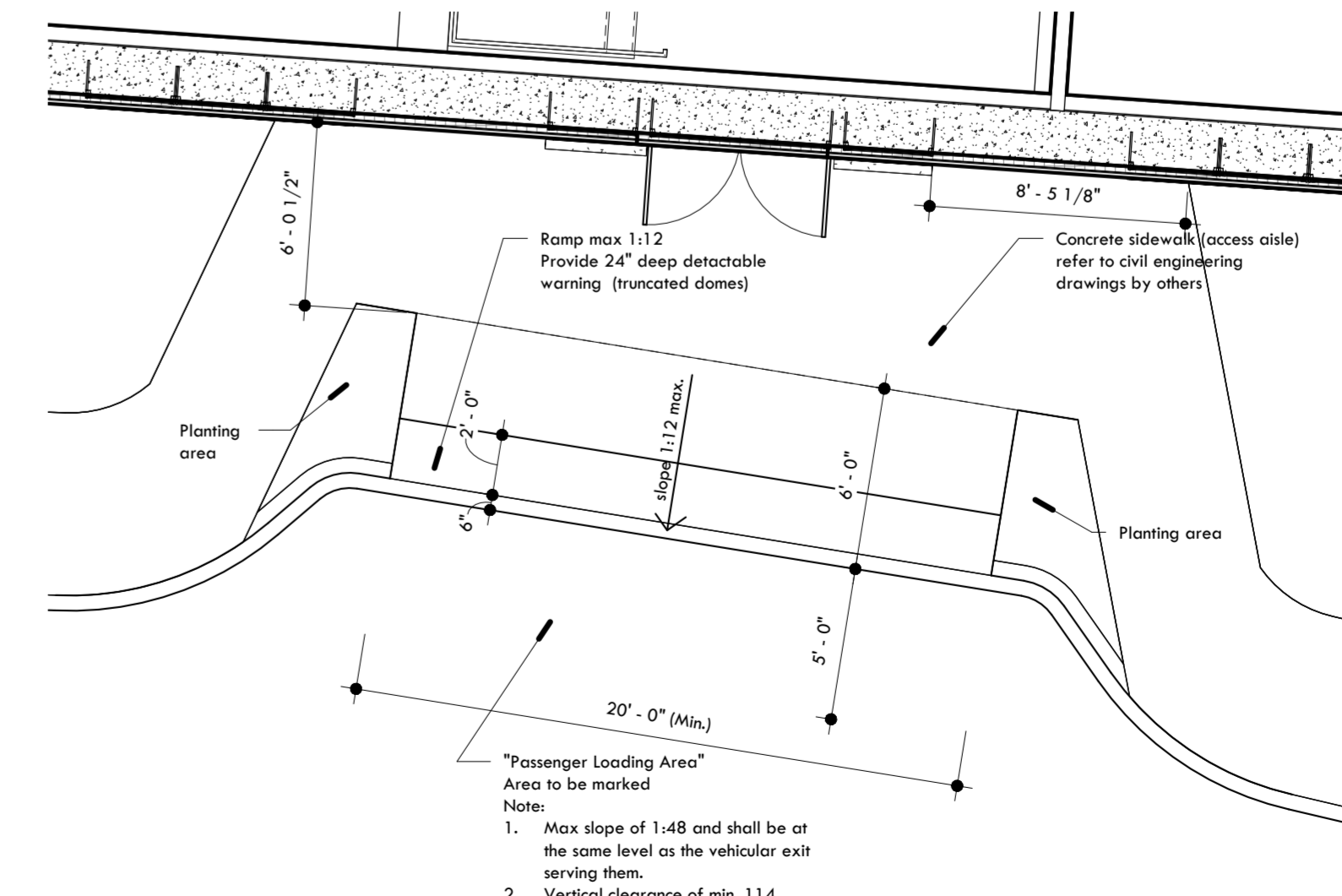
Scale: 1"=50'-0"
Notes: 1. Screen gas meters from R.O.W. with landscaping.



Partial Site Plan-Ground Sign-South Drive
1" = 10'-0"



Partial Site Plan-Ground Sign-North Drive
1" = 10'-0"



Passenger Loading Area
3/16" = 1'-0"



No.	Description	Date
8	Foundation Permit	19-05-10
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
17	Revision 17	21-11-16
18	Revision 18	21-11-30
19	Revision 19	21-12-08

KJM Development/
"The Magnuson"
Schematic Site Plan

Project number: 2016-005
Date: 05/07/19
Drawn by: SAS
Checked by: Checker

PUD Doc-1.0

Scale: As indicated



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Keystone Legend

Key Value	Keystone Text
006	Fire Pit
008	Pergola: See sheet A-005 for further information
009	Game Area
010	Seating Area
011	Pool: designed by others. Pool drawings to be submitted under separate permit
012	Cabana
016	Disc Golf Basket
018	Commercial electric car charging station
020	Existing Ingress/Egress Easement
021	Landbanked Parking
025	Comed Transformer and Pad
029	Green Roof
030	4'-0" High fence w/ lockable gates
031	(17) gas meters- Provide landscape screening from the R.O.W.
033	Street Workout Area (Circuit Training) with Poured-in-place rubber playground surface
035	Neural Pot Waste Station Model E31 by Pot-wasteEliminator.com 1-800-790-8896
036	Ground signage
037	Security camera
038	Ramp at max of 1:12 w/ Provide 24" deep detectable warning (truncated domes)
039	Marked cross walk
040	Concrete pier (support of 2nd floor balconies) to be wrapped with this stone

Site Data

Lot Area: 332,991.24 SF
 Min. Open Space: 144 x 750 = 108,000 SF 2.48 Acres
 Actual Open Space: 332,991.24 x 10% = 33,299.12 SF
 Floor Area Ratio: W/ Landbank Parking: .6541 .656 (As Approved)
 Max Building Height: 70'-4 7/8" | 75'-5" (As Approved)
 Lot Coverage: 80,628.44 SF | 76,353.60 SF + 560 SF = 76,913.60 SF
 Total Building: 80,628.44 SF x 1 = 80,628.44 SF (includes parking and club house)
Residential Towers
 First Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Second Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Third Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Fourth Floor: 14,642.19 SF x 4 = 58,568.76 SF
 Fifth Floor: 9,131.77 SF x 4 = 36,527.08 SF
 Total Residential: 292,861.80 SF
Club House
 First Floor: [Included in ground floor level]
 Second Floor: 5,665.87 SF x 1 = 5,665.87 SF (As Approved)
 Total Area: 298,527.67 SF | 298,410.00 SF (As Approved See Page 10 or Ordinance)

Number of Dwelling Units: 144 Dwelling Units
 Parking Spaces Required: 144 x 2.5 = 360 spaces
 Parking Spaces Provided:
 Indoor Spaces: 163 Spaces | 171 Spaces (As Approved)
 Exterior Spaces: 136 Spaces | 125 Spaces (As Approved)
 Landbank Spaces: 64 Spaces | 64 Spaces (As Approved)
 Total Parking Spaces: 360 Spaces | 360 Spaces (As Approved)
 Note: we have less existing parking spaces to provide new drives while land bank parking is provided. This is why we have an additional 3 land bank spaces to account for there loss to maintain the total of 360 when landbank parking is provided.



Schematic Site Plan

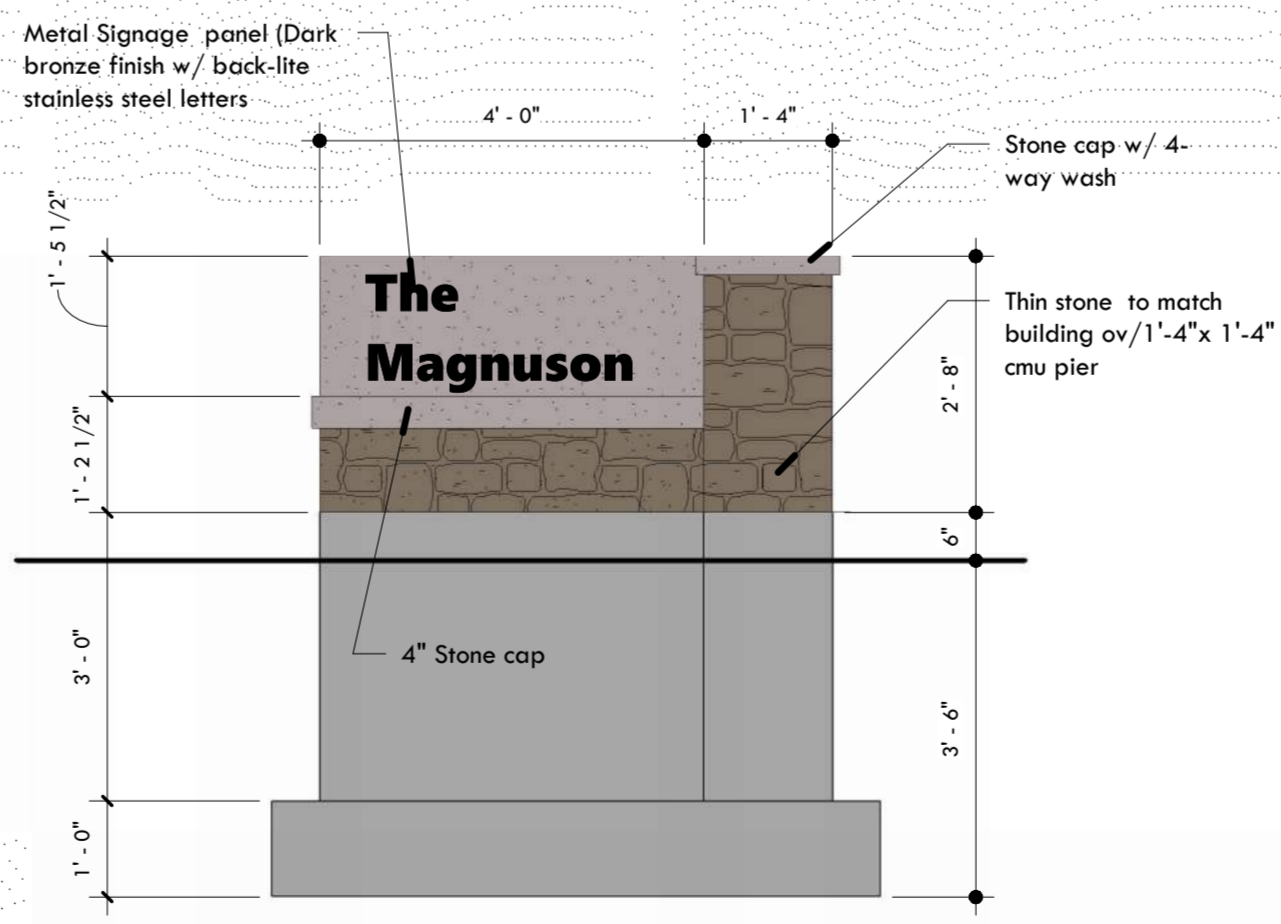
Scale: 1"=50'-0"
 Notes:
 1. Screen gas meters from R.O.W. with landscaping.



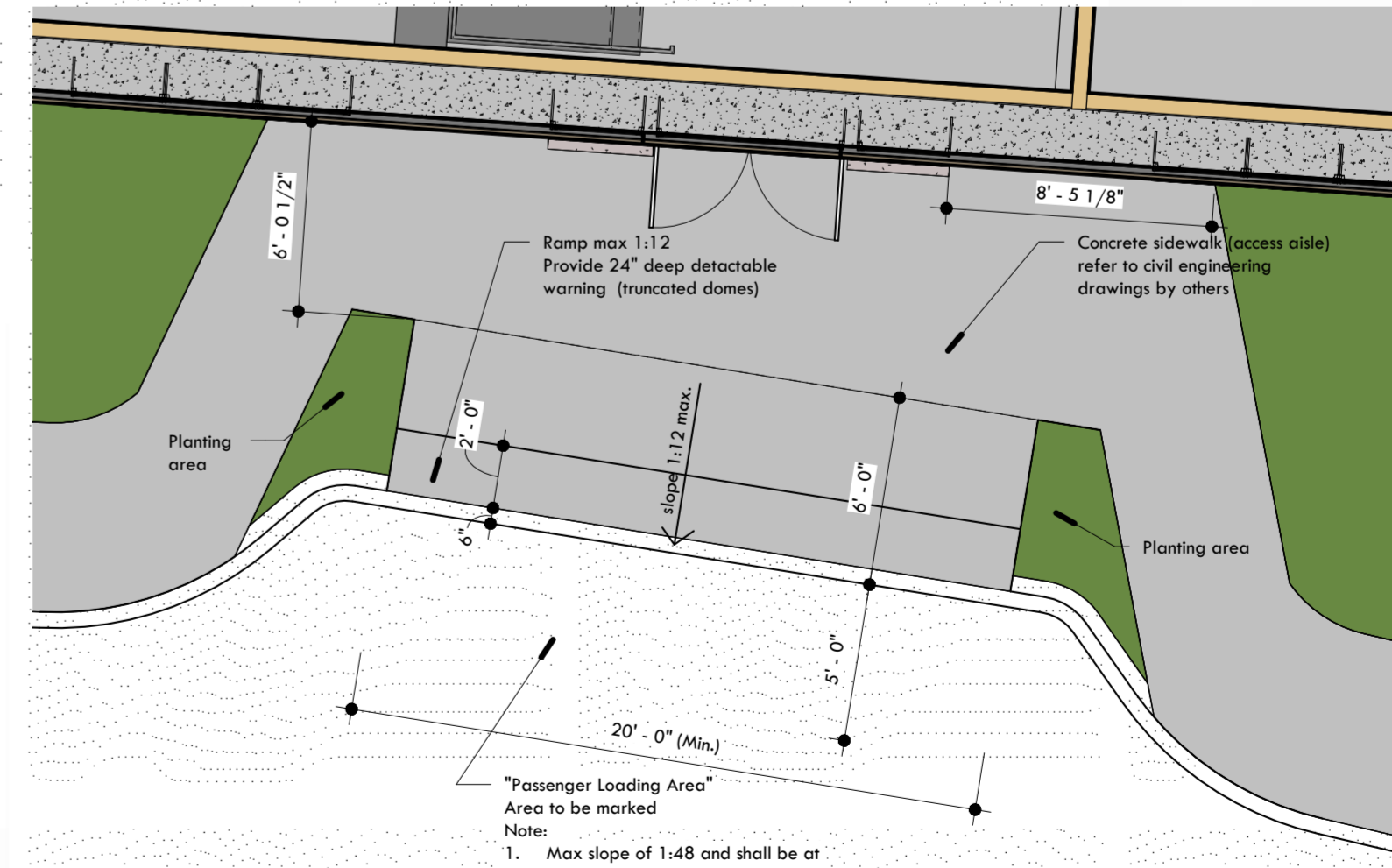
No.	Description	Date
8	Foundation Permit	19-05-10
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
17	Revision 17	21-11-16
18	Revision 18	21-11-30
19	Revision 19	21-12-08

KJM Development/
 "The Magnuson"
 Schematic Site Plan
 (Rendered)

Project number	2016-005
Date	05/07/19
Drawn by	SAS
Checked by	Checker
PUD Doc-1.1	
Scale	As indicated



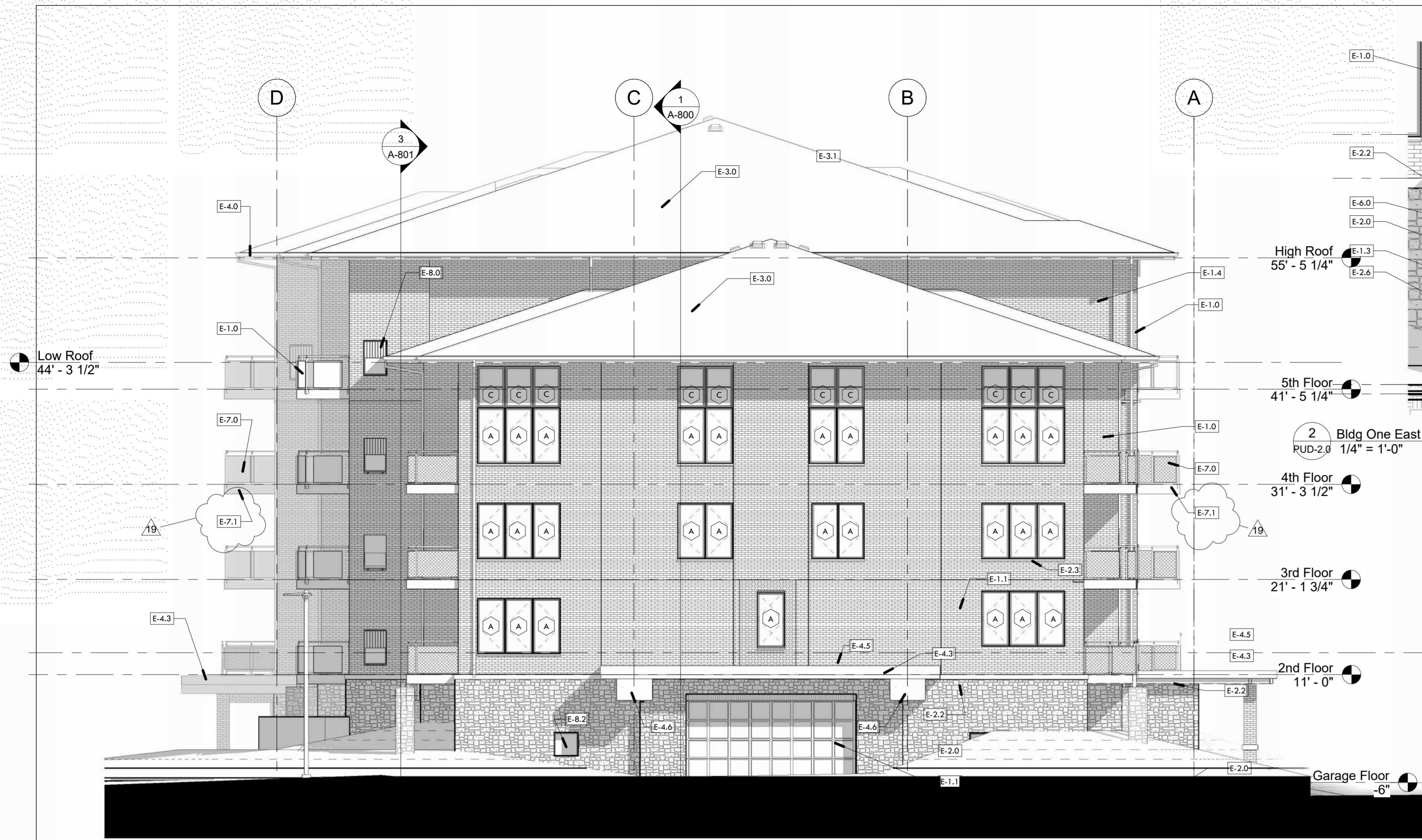
5 Ground Signage Elevation
 1/2" = 1'-0"



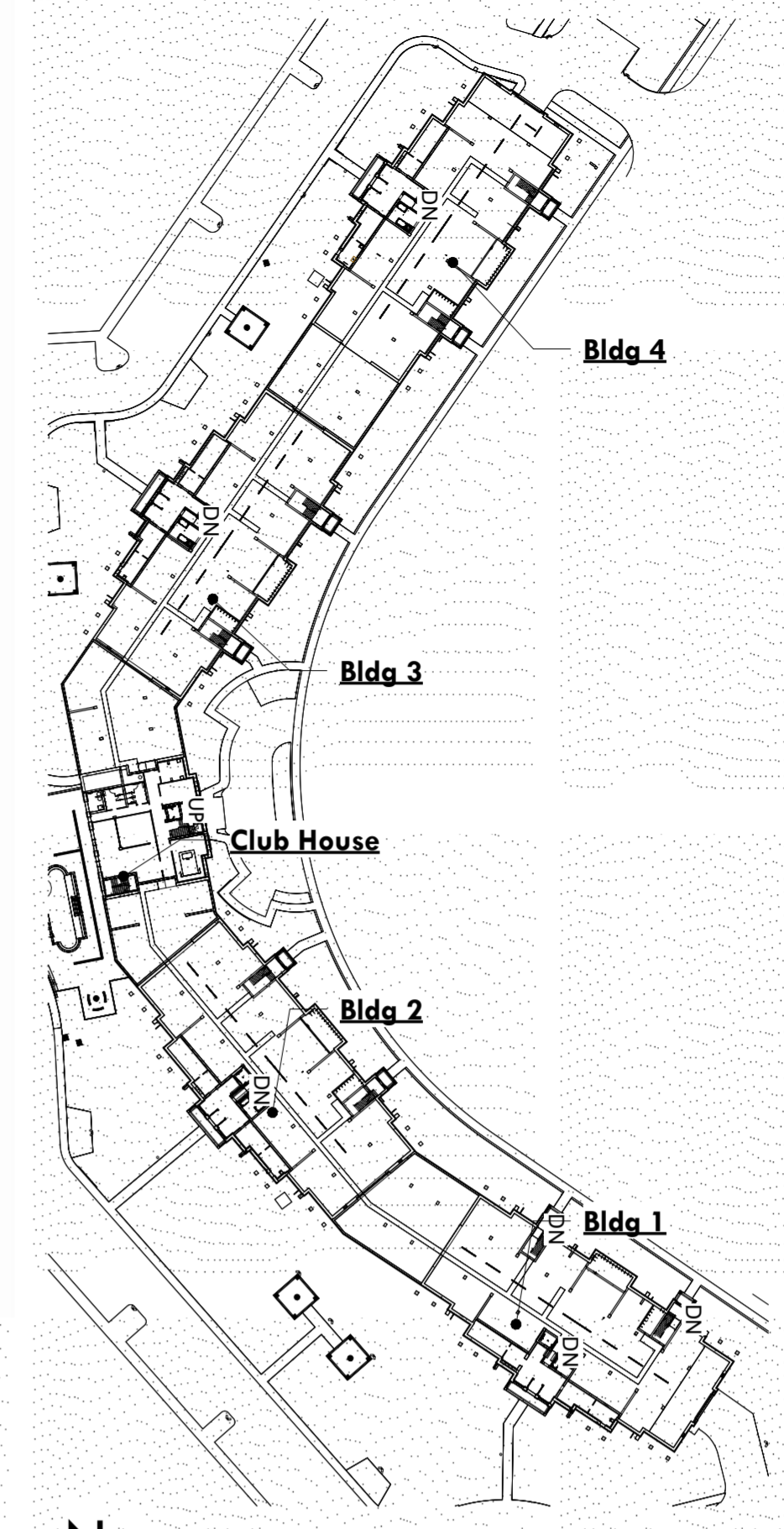
4 Passenger Loading Area
 3/16" = 1'-0"

2 Partial Site Plan-Ground
 Sign-South Drive
 1" = 10'-0"

3 Partial Site Plan-Ground
 Sign-North Drive
 1" = 10'-0"



2 Bldg One East Elevation - Callout 1
PUD-2.0 1/4" = 1'-0"



Key Plan
Scale: 1"=100'-0"

Commercial | Residential | Industrial

14421 Oakley Ave
Orland Park, IL 60462
Tel: 708-933-4200
Fax: 708-966-0854

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www.archstudiold.net

Keynote Legend

Key Value	Keynote Text
E-1.0	Brick veneer - Utility size brick with natural color mortar (3 5/8" thick)
E-1.1	Brick soldier course - w/ PVC flashing w/ preformed end dams w/stainless steel drip edge and wick type weep holes @ 16" O.C. 00
E-1.3	Brick pillar with stone veneer
E-1.4	Thin brick - Utility size brick with natural color mortar (1 1/2" thick) Note: thin brick to match size, color, burnt texture and to match full brick veneer.
E-2.0	Natural-tilt stone veneer
E-2.2	Continuous Cut stone sill
E-2.3	Cut stone sill w/ pvc sill flashing with stainless steel drip edge and weep holes @ 16" o.c. Provide preformed end dams at each end of the sill
E-2.6	6" High Stone Accent strip
E-3.0	Typical Architectural Composite Roof Shingles
E-3.1	Roof Vent-min. 1.44 sq in clear net vent
E-3.2	Valley Flashing
E-4.0	Oversized prefinished aluminum gutter and downspout
E-4.3	Prefinished aluminum gravel stop
E-4.4	Prefinished aluminum break metal
E-4.5	Soft metal thru wall flashing
E-4.6	Prefinished aluminum break metal wrap
E-6.0	Exterior grade light fixture LED bulb
E-7.0	42" High alum. railing railing w/ wire mesh infill panels
E-7.1	Alum. bolt-on balcony constructed of alum. tube frame and alum. deck
E-8.0	PTFC grill color to match surrounding brick color-see mechanical drawings for further information
E-8.2	Exhaust vent Color to match color of surrounding material-refer to mechanical drawings for further information
E-13.0	Address identification Address identification characters shall contrast with their background- Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be a minimum of 4 inches high with a minimum stroke width of 1/2"

3 Bldg One South Elevation
PUD-2.0 1/8" = 1'-0"



8 Bldg One East Elevation
PUD-2.0 1/8" = 1'-0"



No.	Description	Date
3	Revision 3	10/28/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
9	Coordination	19-08-20
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
18	Revision 18	21-11-30
19	Revision 19	21-12-08
20	Revision 20	22-01-12

KJM Development/
**"The Magnuson"
Building One
Elevations**

Project number 2016-005
Date 05/07/19
Drawn by Author
Checked by Checker

PUD-2.0

Scale As indicated



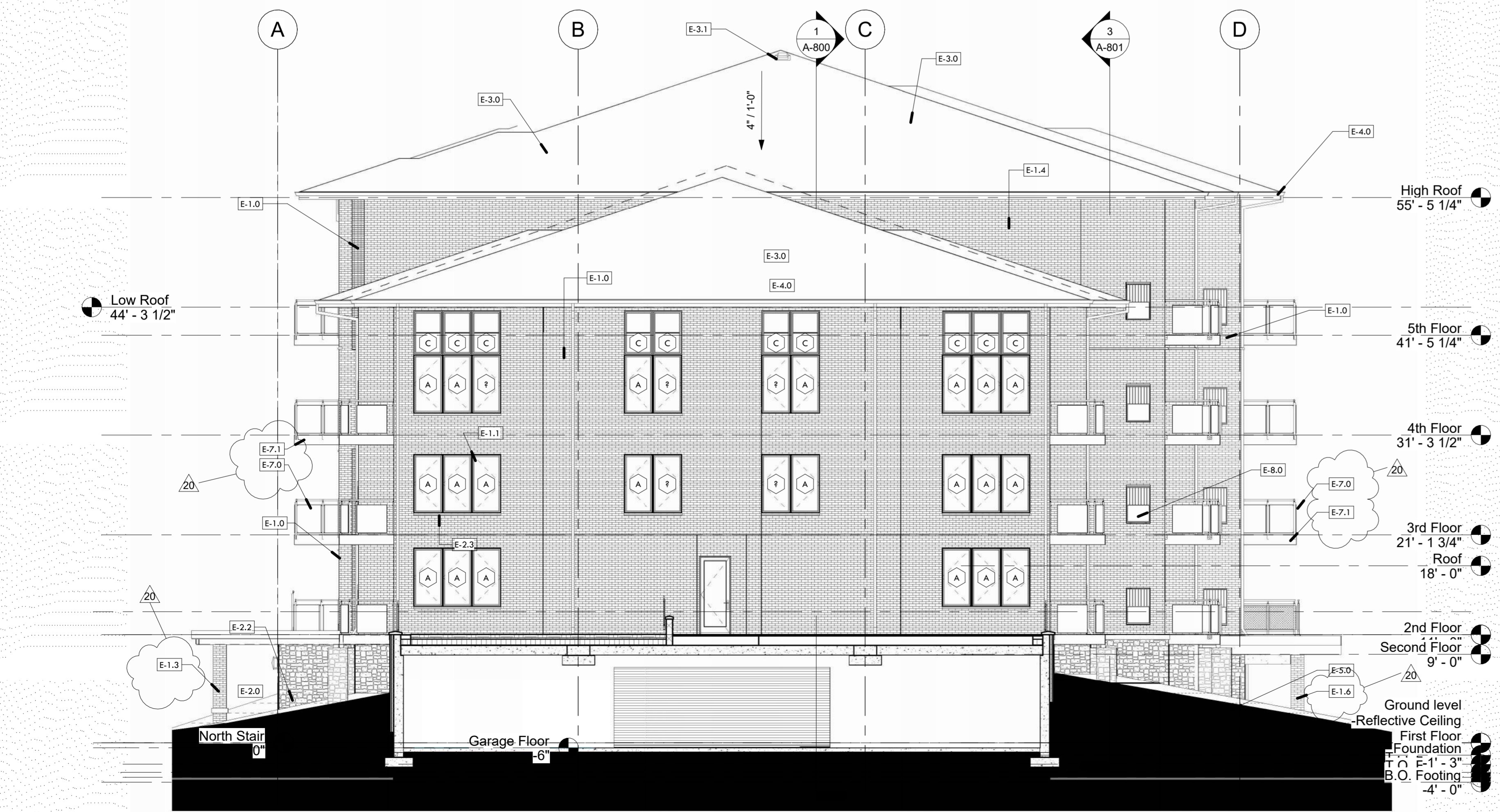
1 Bldg One West Elevation
 PUD-2.1 1/8" = 1'-0"



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Keystone Legend	
Key Value	Keystone Text
E-1.0	Brick veneer - Utility size brick with natural color mortar (3.5/8" thick)
E-1.1	Brick soldier course w/ PVC flashing w/ preformed end dams w/ stainless steel drip edge and wick type weep holes @ 18" O.C. 00
E-1.3	Brick pier with stone accent
E-1.4	Thin brick - Utility size brick with natural color mortar (1/2" thick) Note: thin brick to match size, color, burn, texture and to match full brick veneer.
E-1.6	Structural column to be covered in all sides with thin brick
E-2.0	Natural Thin stone veneer
E-2.2	Continuous Cut stone sill
E-2.3	Cut stone sill w/ pre-cast flashing with stainless steel drip edge and weep holes @ 16" o.c. Provide preformed end dams at each end of the sill
E-3.0	Typical Architectural Composite Roof Shingles
E-3.1	Roof Vent-min. 1.44 sq. in. clear net vent
E-3.2	Valley Flashing
E-3.7	Typical architectural composite roof shingles on vertical surface
E-4.0	Overlaid prefinished aluminum gutter and downspout
E-4.3	Prefinished aluminum gravel stop
E-4.4	Prefinished aluminum break metal
E-5.0	Finish grade-refer to civil engineering drawings for further information 00
E-6.0	Exterior grade light fixture - LED bulb
E-7.0	42" high alum. rolling rolling w/ wire mesh infill panels
E-7.1	Alum. ball-on balcony constructed of alum. tube frame and alum. deck
E-8.0	P/F/C grill color to match surrounding brick color-see mechanical drawings for further information
E-10.0	Prefinished alum. storefront (Black)-see door schedule
E-13.0	Address identification: Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be a minimum of 4 inches high with a minimum stroke width of 1/2"



3 North Elevation Bldg One
 PUD-2.1 1/8" = 1'-0"

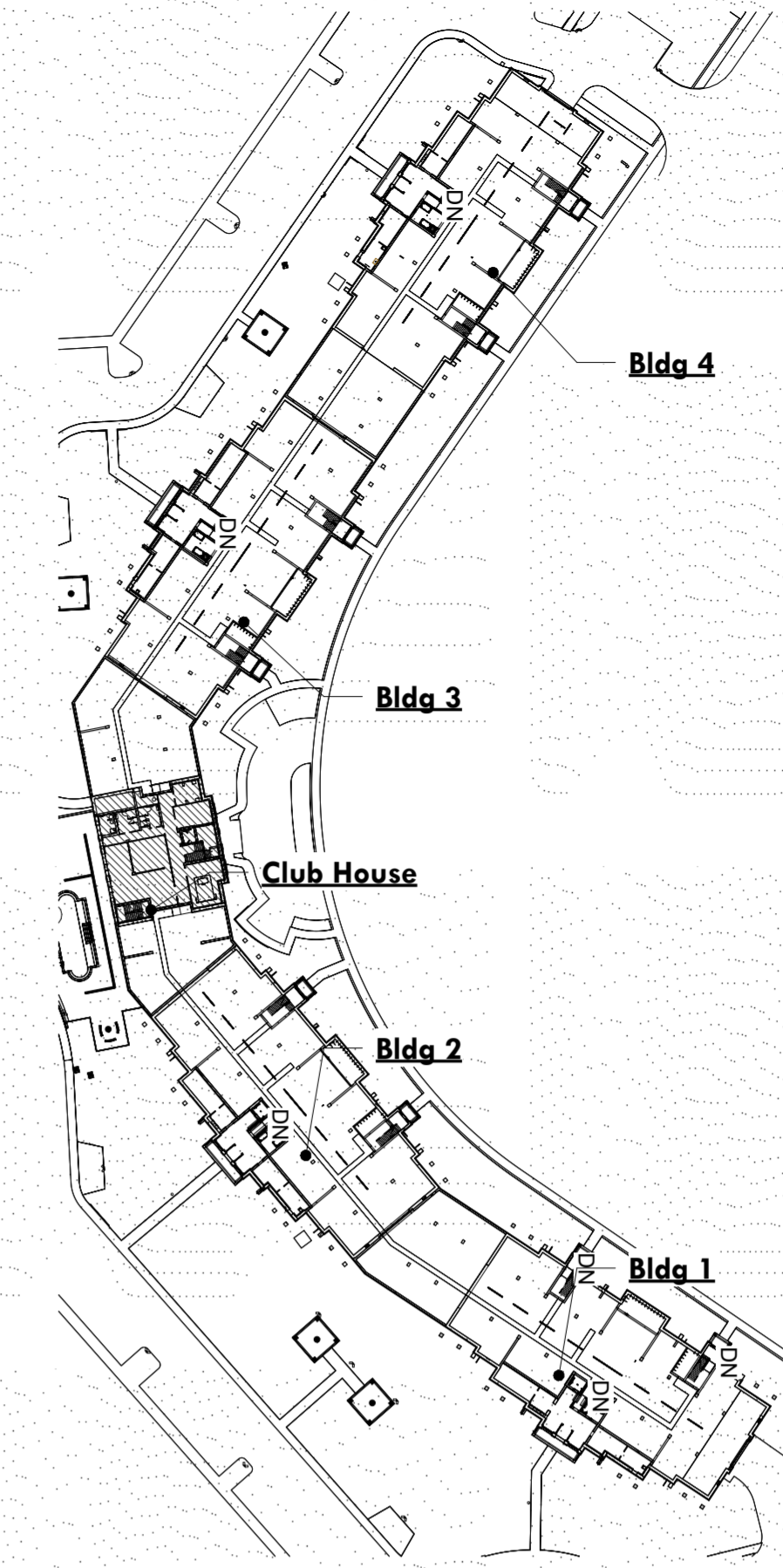
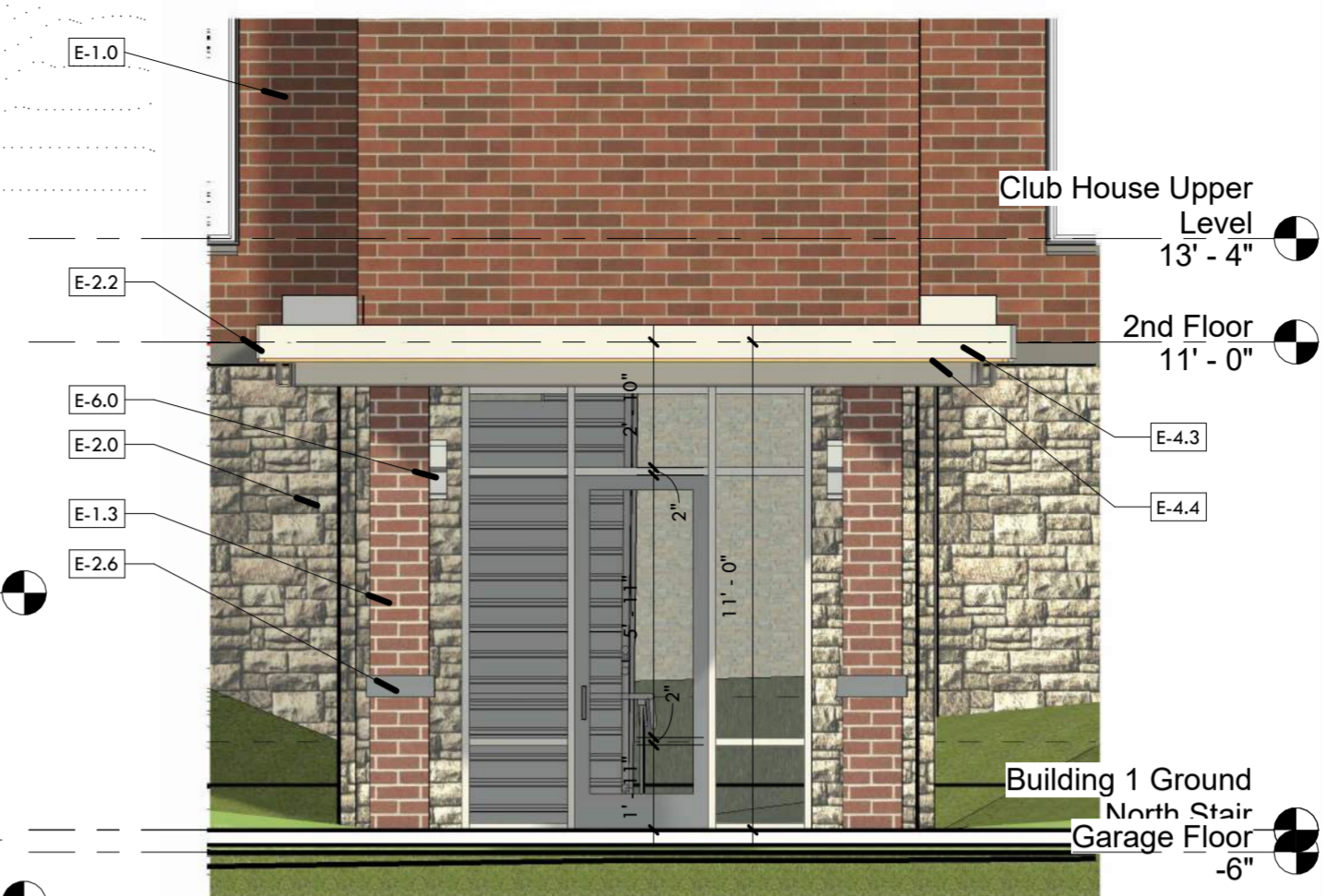
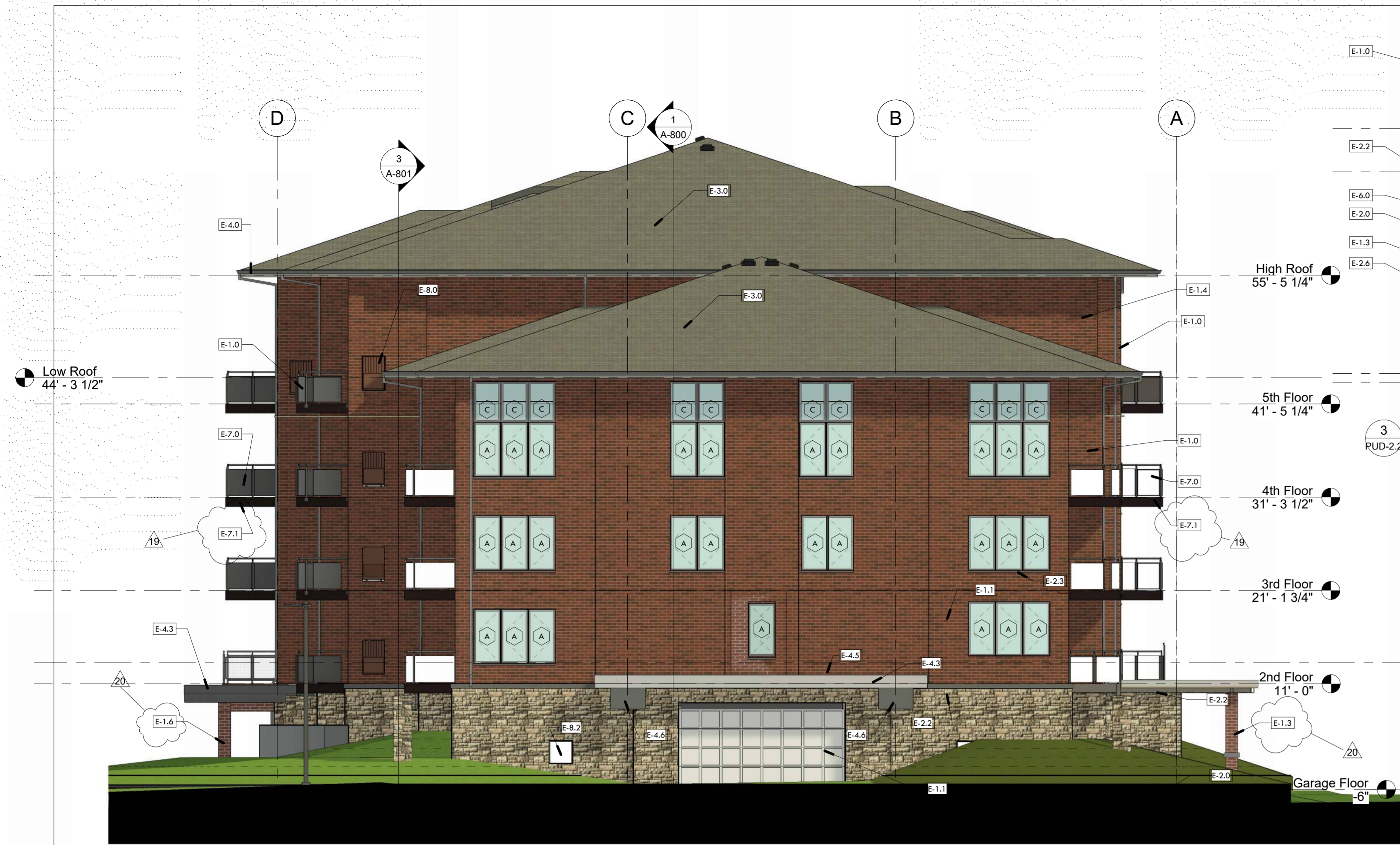
No.	Description	Date
3	Revision 3	10/28/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
9	Coordination	19-08-20
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
18	Revision 18	21-11-30
19	Revision 19	21-12-08
20	Revision 20	22-01-12

KJM Development/
 "The Magnuson"
 Building One
 Elevations

Project number 2016-005
 Date 05/07/19
 Drawn by Author
 Checked by Checker

PUD-2.1
 Scale 1/8" = 1'-0"





ds
ARCHITECTURAL STUDIO, LTD.
14421 Oakley Ave
Orland Park, IL 60462
Tel: 708-933-4200
Fax: 708-966-0854

Architectural Studio, Ltd.
www.archstudiodtd.net

Keynote Legend	
Key Value	Keynote Text
E-1.0	Brick veneer. Utility size brick with natural color mortar (3/8\"/>
E-1.1	Brick soldier course- w/ PVC flashing w/ preformed end dams w/stainless steel drip edge and wick type weep holes @ 16\"/>
E-1.3	Brick pier with stone accent
E-1.4	Thin brick. Utility size brick with natural color mortar (1/2\"/>
E-1.6	Structural column to be covered in all sides with thin brick
E-2.0	Natural Thin stone veneer
E-2.2	Continuous Cut stone sill
E-2.3	Cut stone sill w/ pvc sill flashing with stainless steel drip edge and weep holes @ 16\"/>
E-2.4	Prefinished aluminum break metal
E-2.6	6\"/>
E-3.0	Typical Architectural Composite Roof Shingles
E-3.1	Roof Vent-min. 1.44 sq in clear net vent
E-3.2	Valley Flashing
E-4.0	Oversized prefinished aluminum gutter and downspouts
E-4.3	Prefinished aluminum gravel stop
E-4.4	Prefinished aluminum break metal
E-4.5	Soft metal thru wall flashing
E-4.6	Prefinished aluminum break metal wrap
E-6.0	Exterior grade light fixture LED bulb
E-7.0	42\"/>
E-7.1	Alum. ball-on balcony constructed of alum. tube frame and alum. deck
E-8.0	PTEC grill color to match surrounding brick color-see mechanical drawings for further information
E-8.2	Exhaust vent Color to match color of surrounding material-refer to mechanical drawings for further information
E-13.0	Address Identification: Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be a minimum of 4 inches high with a minimum stroke width of 1/2\"/>

Bldg One South Elevation
(Rendered)
1
RUD-2.2 1/8" = 1'-0"



Bldg One East Elevation
(Rendered)
2
RUD-2.2 1/8" = 1'-0"



No.	Description	Date
3	Revision 3	10/26/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
9	Coordination	19-08-20
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
18	Revision 18	21-11-30
19	Revision 19	21-12-08
20	Revision 20	22-01-12

KJM Development/

"The Magnuson"
Building One
Elevations Rendered

Project number 2016-005
Date 05/07/19
Drawn by Author
Checked by Checker

PUD-2.2

Scale As indicated



1 Bldg One West Elevation (Rendered)
PUD-2.3 1/8" = 1'-0"



2 North Elevation Bldg One (Rendered)
PUD-2.3 1/8" = 1'-0"



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Architectural Studio, Ltd.

www.archstudiold.net

Keynote Legend

Key Value	Keynote Text
E-1.0	Brick veneer. Utility size brick with natural color mortar (3 5/8" thick)
E-1.1	Brick soldier course w/ PVC flashing w/ preformed end dams w/ stainless steel drip edge and wick type weep holes @ 1/8" O.C. @ 00
E-1.4	Thin brick. Utility size brick with natural color mortar (1 1/2" thick) Note: thin brick to match size, color, burnt, texture and to match full brick veneer.
E-1.6	Structural column to be covered in all sides with thin brick
E-2.0	Natural Thin stone veneer
E-2.2	Continuous Cur stone sill
E-2.3	Cut stone sill w/ PVC sill flashing with stainless steel drip edge and weep holes @ 1/8" O.C. Provide preformed end dams at each end of the sill
E-3.0	Typical Architectural Composite Roof Shingles
E-3.1	Roof Vent-min. 144 sq in clear net vent
E-3.2	Valley Flashing
E-3.7	Typical architectural composite roof shingles on vertical surface
E-4.0	Oversized prefinished aluminum gutter and downspout
E-4.3	Prefinished aluminum gravel stop
E-4.4	Prefinished aluminum break metal
E-5.0	Finish grade-refer to civil engineering drawings for further information 00
E-6.0	Exterior grade light fixture. LED bulb
E-7.0	42" high alum. rolling railing w/ wire mesh infill panels
E-7.1	Alum. built-on balcony constructed of alum. tube frame and alum. deck
E-8.0	PFC grill color to match surrounding brick color-see mechanical drawings for further information
E-10.0	Prefinished alum. storefront (Black)-see door schedule
E-13.0	Address identification. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be a minimum of 4 inches high with a minimum stroke width of 1/2"



No.	Description	Date
3	Revision 3	10/28/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
9	Coordination	19-08-20
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
18	Revision 18	21-11-30
19	Revision 19	21-12-08
20	Revision 20	22-01-12



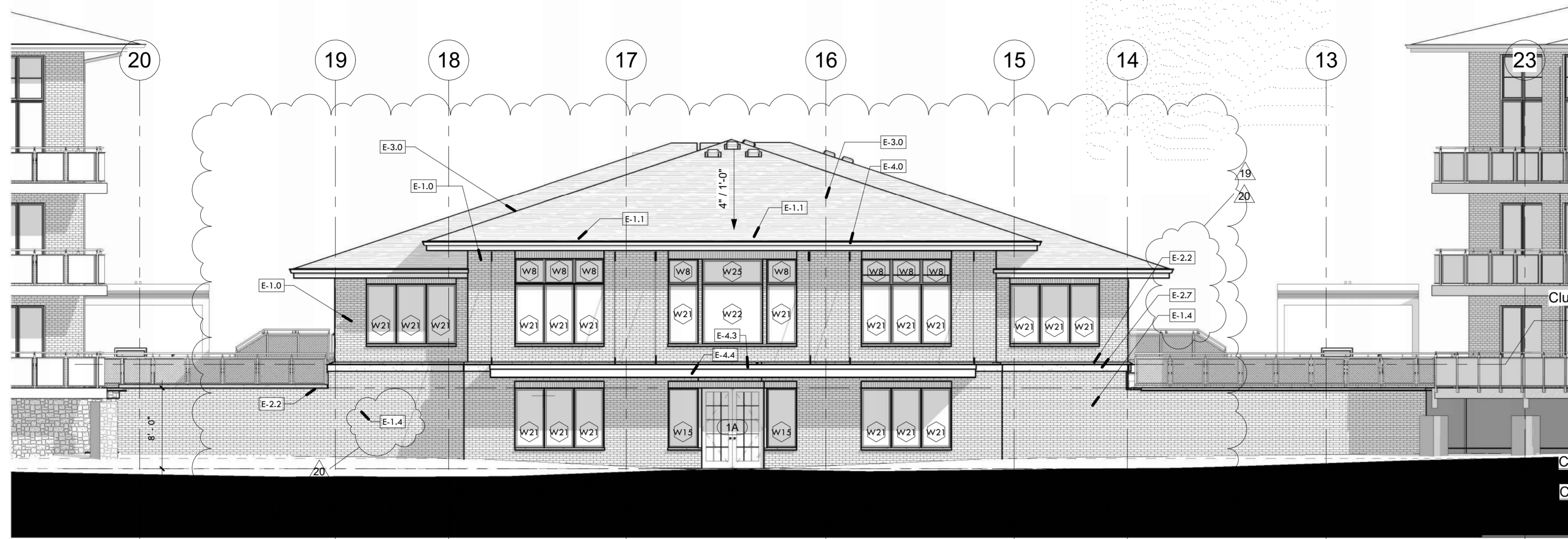
KJM Development/

"The Magnuson"
Building One
Elevations Rendered

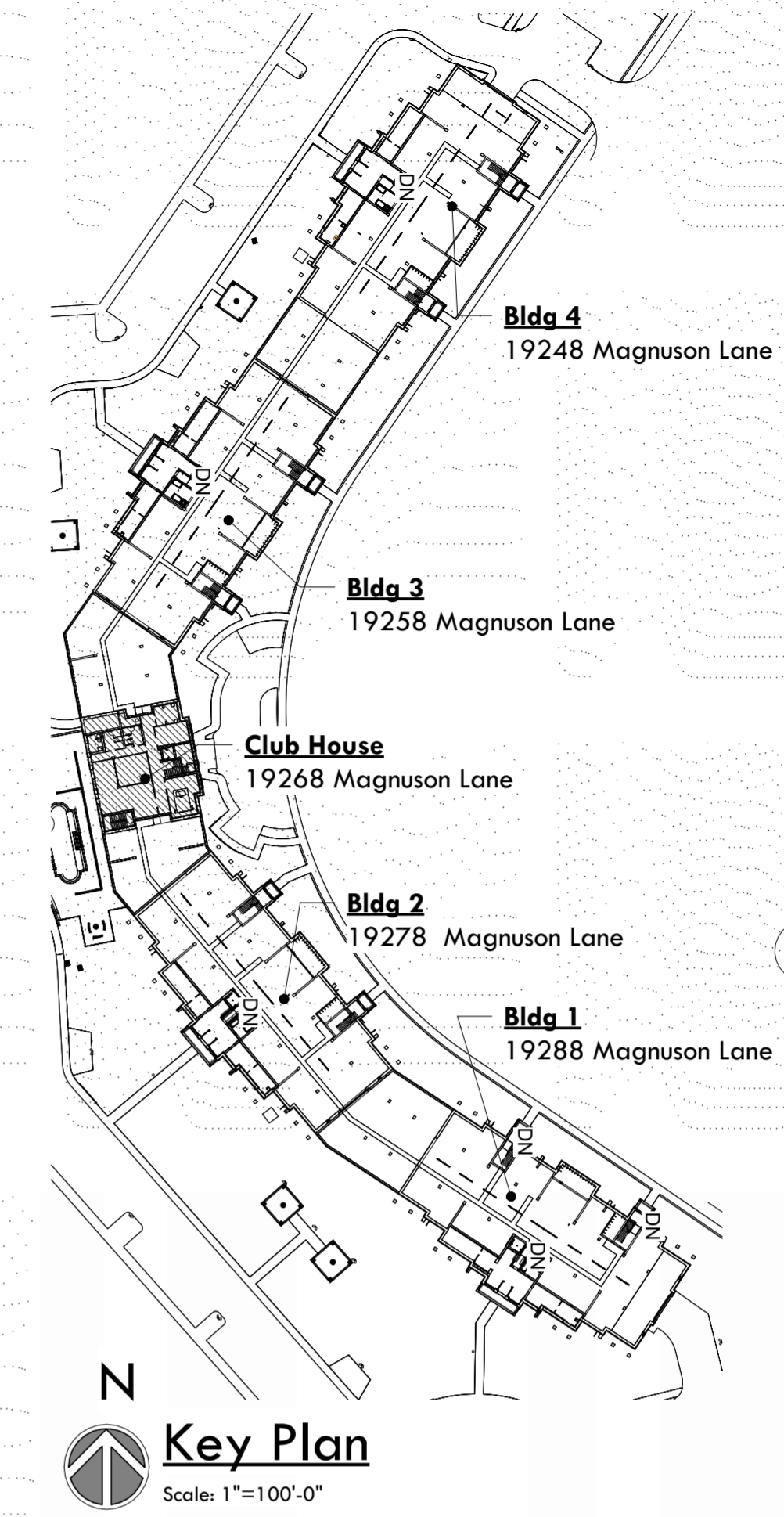
Project number	2016-005
Date	05/07/19
Drawn by	Author
Checked by	Checker

PUD-2.3

Scale 1/8" = 1'-0"



2 Club House Street Elevation
RUD-3.0 1/8" = 1'-0"



Key Plan
Scale: 1"=100'-0"



Commercial | Residential | Industrial

14421 Oakley Ave
Orland Park, IL 60462
Tel: 708-933-4200
Fax: 708-966-0854

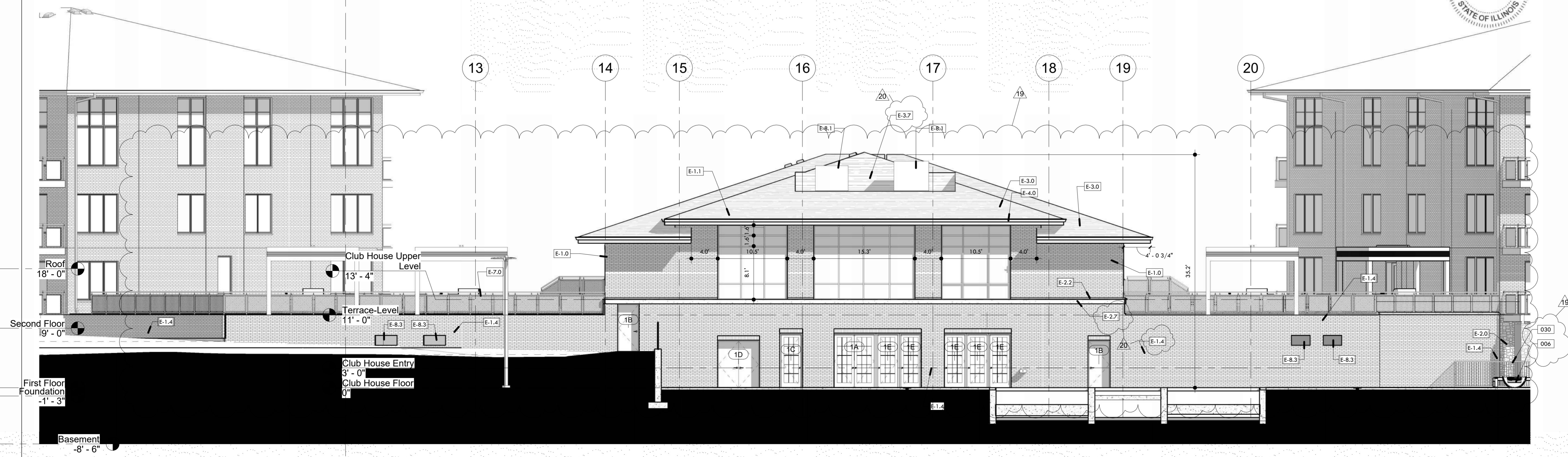
Architectural Studio, Ltd.

www.archstudiold.net

Keynote Legend

Key Value	Keynote Text
006	Fire Pit
030	4'-0" High fence w/ lockable gates.
E-1.0	Brick veneer - Utility size brick with natural color mortar (3 5/8" thick)
E-1.1	Brick soldier course - w/ PVC flashing w/ preformed and domes w/ stainless steel drip edge and wick type weep holes @ 16" O.C. 00
E-1.4	Thin brick - Utility size brick with natural color mortar (1 7/8" thick) Note: Thin Brick to match size, color, burnt, texture and to match full brick veneer.
E-2.0	Natural Thin stone veneer
E-2.2	Continuous Calf Gutter sill
E-2.7	Continuous stone Band 8" tall
E-3.0	Typical Architectural Composite Roof Shingles
E-3.7	Typical architectural composite roof shingles on vertical surface
E-4.0	Oversized prefinished aluminum gutter and downspouts
E-4.3	Prefinished aluminum gravel stop
E-4.4	Prefinished aluminum break metal
E-7.0	4" High alum. rolling railing w/ wire mesh infill panels
E-8.1	Roof top equipment color to match roofing shingles - refer to mechanical drawings for further information 00
E-8.3	Intake vent - color to match surrounding material - refer to mechanical drawings for further information

No.	Description	Date
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
10	Coordination	20-06-18
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
18	Revision 18	21-11-30
19	Revision 19	21-12-08
20	Revision 20	22-01-12



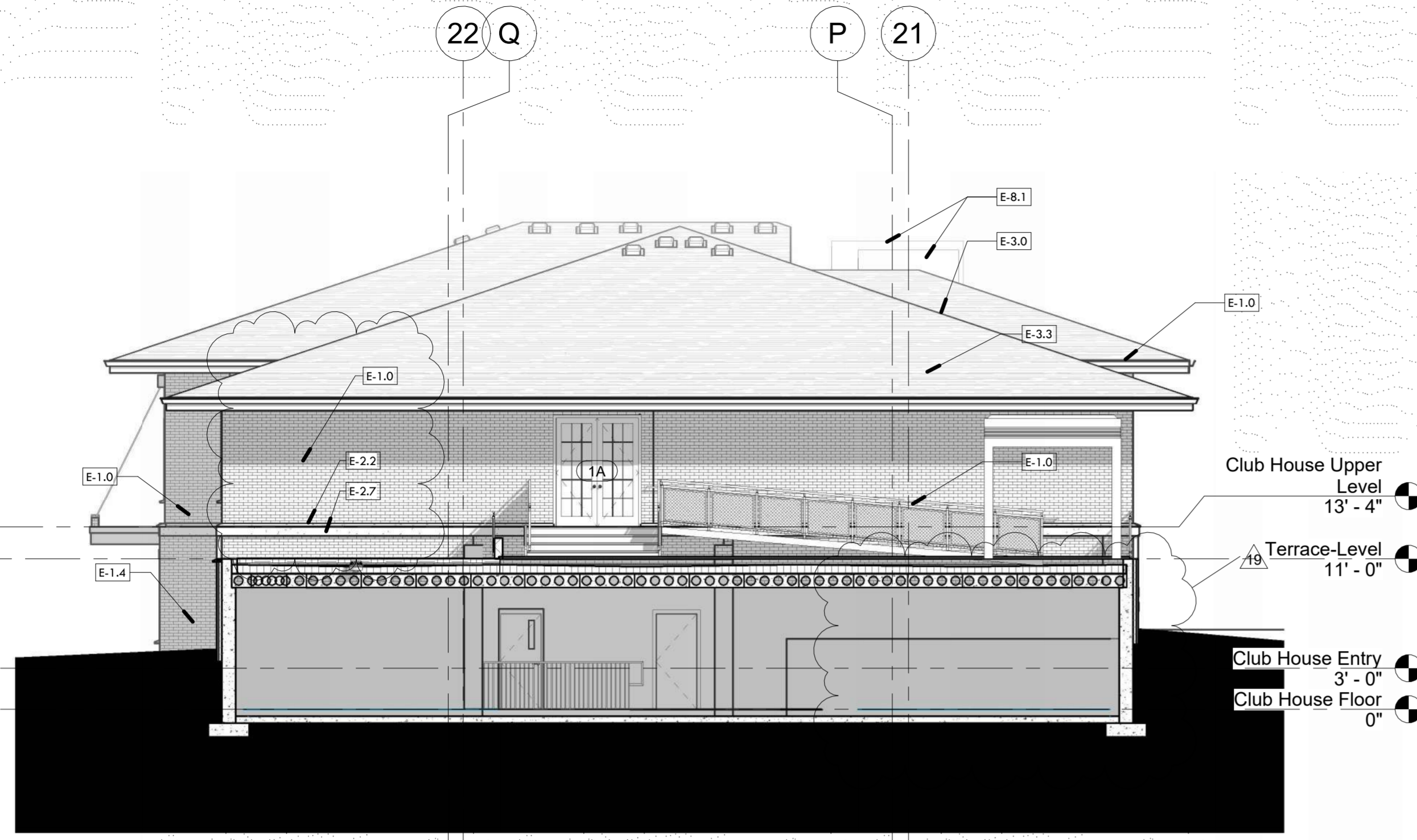
1 Club House Rear Elevation
RUD-3.0 1/8" = 1'-0"

KJM Development/
"The Magnuson"
Club House Elevation

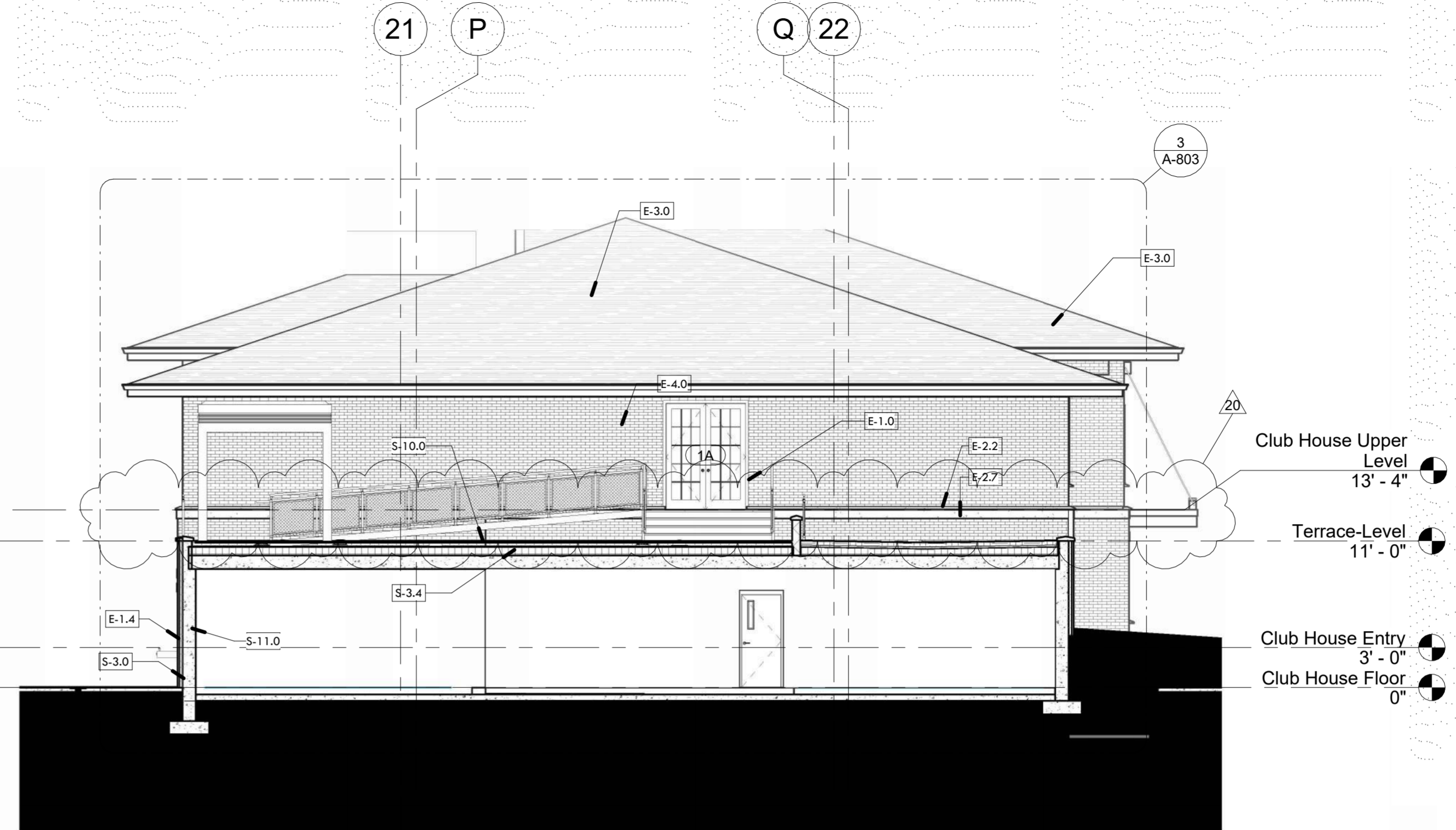
Project number 2016-005
Date 05/07/19
Drawn by SAS
Checked by Checker

PUD-3.0

Scale As indicated



1 Club House Left Side Elevation
RUD-3.1 1/8" = 1'-0"



2 Club House Right Side Elevation
RUD-3.1 1/8" = 1'-0"



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Keynote Legend

Key Value	Keynote Text
E-1.0	Brick veneer - Utility size brick with natural color mortar (3 5/8" thick)
E-1.4	Thin brick - Utility size brick with natural color mortar (1/2" thick) Note: thin brick to match size, color, burn, texture and to match full brick veneer.
E-2.2	Continuous Cut stone sill
E-2.7	Continuous stone band 8" tall
E-3.0	Typical Architectural Composite Roof Shingles
E-4.0	Kick-out flashing typ-see detail
E-8.1	Oversized prefinished aluminum gutter and downspouts
E-8.1	Roof top equipment color to match roofing shingles- refer to mechanical drawings for further information 00
S-3.0	R-15 Rigid insulation fastened to concrete foundation wall with x @ o.c. each direction.
S-3.4	Tapered closed cell polycyanurate rigid insulation (20 psi density) 04
S-10.0	2x2 FSC certified IPE Wood tile by Bison or approved equal on Bison Model Versadjet V-Series w/Bison Model FIB pedestal base.
S-11.0	Concrete foundation wall-see Structural drawings for further information

No.	Description	Date
5	Revision 5	12/28/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
10	Coordination	20-06-18
11	Superstructure Permit	20-08-01
14	Pool submittal	21-06-14
16	resubmittal for zoning	21-11-12
19	Revision 19	21-12-08
20	Revision 20	22-01-12

KJM Development/
"The Magnuson"
Club House Elevations

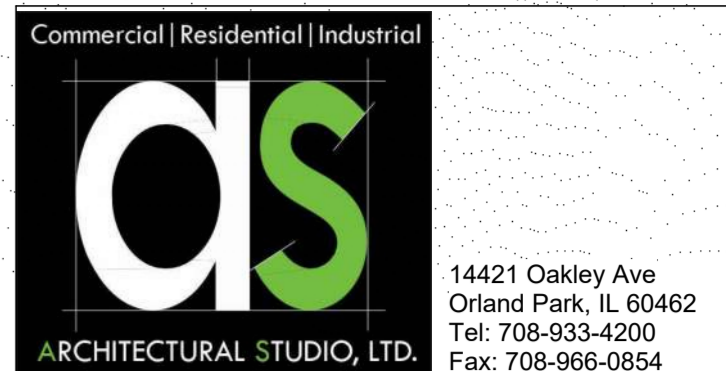
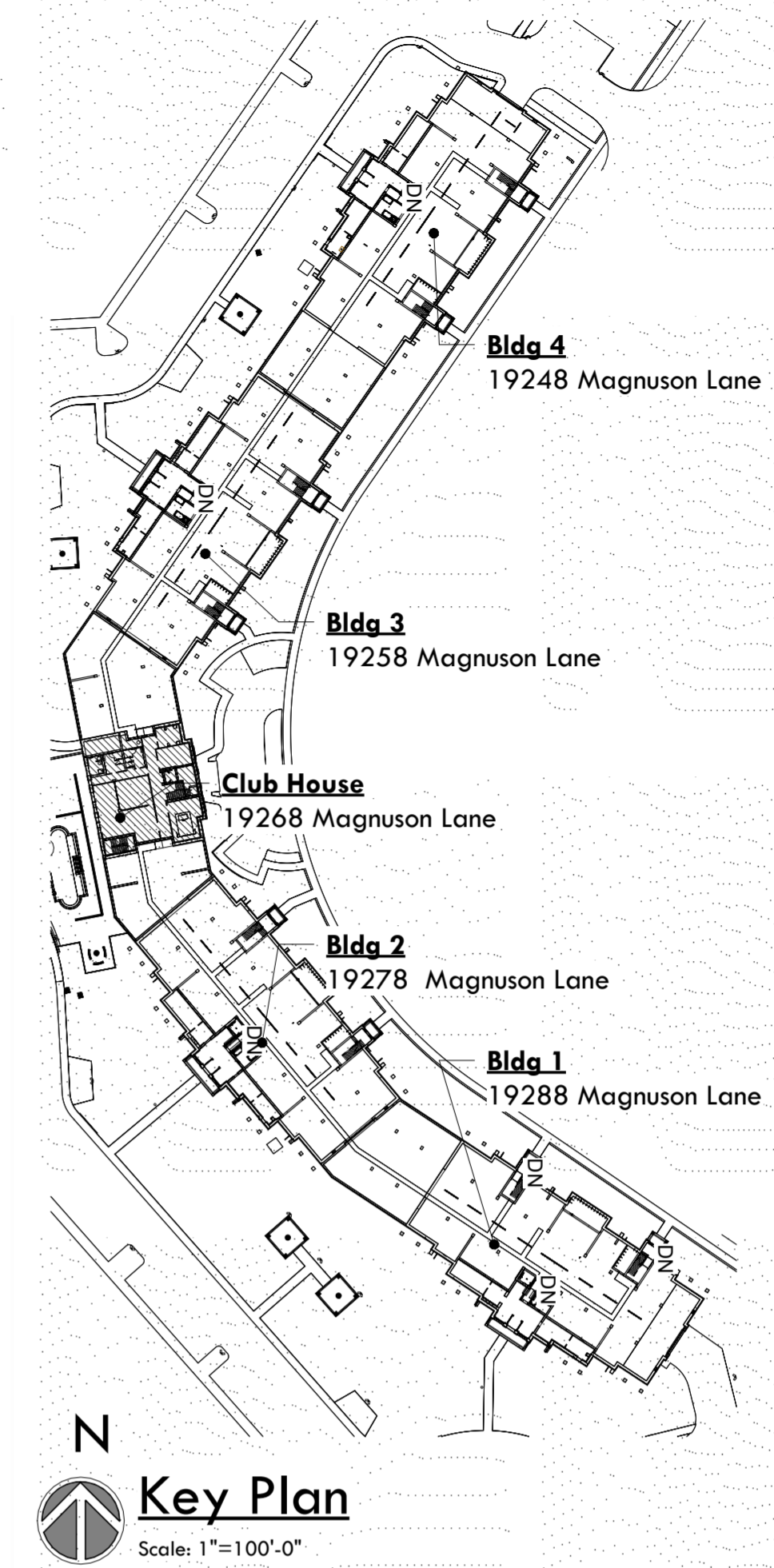
Project number 2016-005
Date 05/07/19
Drawn by Author
Checked by Checker

PUD-3.1

Scale 1/8" = 1'-0"



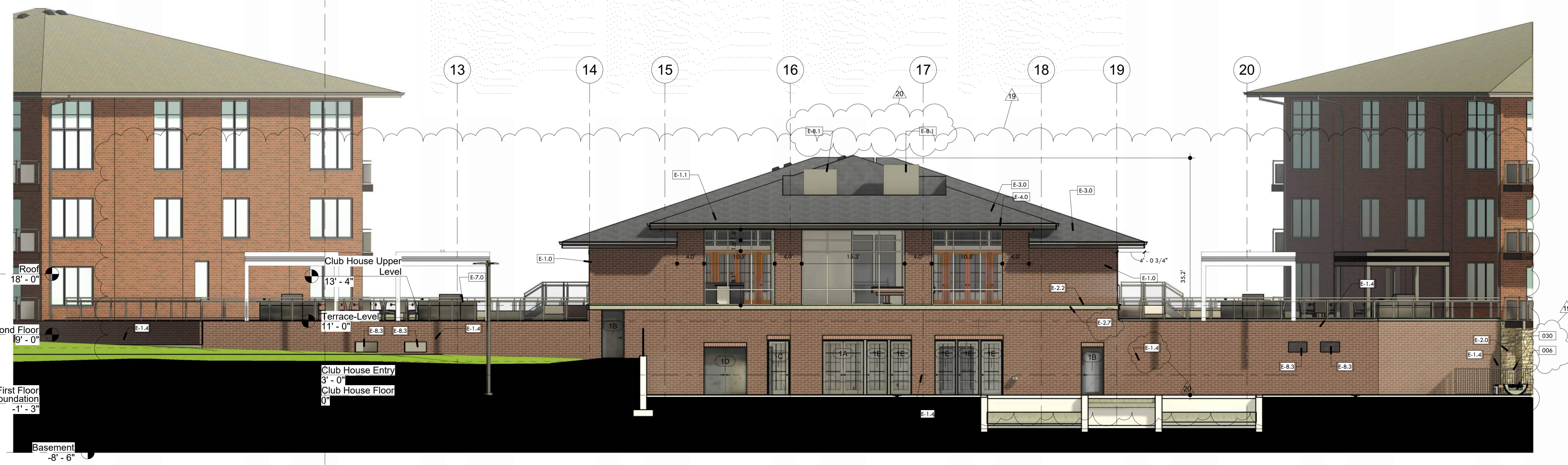
1 Club House Street Elevation (Rendered) 1
PUD-3.2 1/8" = 1'-0"



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Keynote Legend	
Key Value	Keynote Text
006	Fire Pit
030	4'-0" High fence w/ lockable gates.
E-1.0	Brick veneer. Utility size brick with natural color mortar (3.5/8" thick)
E-1.1	Brick soldier course w/ PVC flashing w/ preformed end dams w/ stainless steel drip edges and wick-type weep holes @ 1/2" O.C. 00
E-1.4	Thin brick. Utility size brick with natural color mortar (1/2" thick) Note: thin brick to match size, color, burnt, texture and to match full brick veneer.
E-2.0	Natural Thin stone veneer
E-2.2	Continuous Cut stone sill
E-2.7	Continuous stone band 5" tall
E-3.0	Typical Architectural Composite Roof Shingles
E-4.0	Oversized prefinished aluminum gutter and downspouts
E-4.3	Prefinished aluminum gravel stop
E-4.4	Prefinished aluminum break metal
E-7.0	42" high alum. railing railing w/ wire mesh infill panels
E-8.1	Roof top equipment color to match roofing shingles- refer to mechanical drawings for further information 00
E-8.3	bricks vent - color to match surrounding material- refer to mechanical drawings for further information



2 Club House Rear Elevation (Rendered) 1
PUD-3.2 1/8" = 1'-0"

No.	Description	Date
10	Coordination	20-06-18
13	Code review response	21-03-24
18	Revision 18	21-11-30
19	Revision 19	21-12-08
20	Revision 20	22-01-12

KJM Development/
"The Magnuson"
Club House Elevation
(Rendered)

Project number 2016-005
Date 05/07/19
Drawn by SAS
Checked by Checker

PUD-3.2

Scale As indicated



Architectural Studio, Ltd.
www.archstudiold.net

Keynote Legend	
Key Value	Keynote Text
00	Fire Fit
F-10.0	Gen2 by Otis Elevator, 3500lb capacity, speed 350 fpm, Machine roomless entry doors on rear in upper levels, side opening door, 9'-0" cab 01
F-11.1	Model 520SS Chute fed trash compactor by Compactors Inc. (800-423-4003) or approved equal
F-11.2	Two cubic yard front load container
F-11.3	Spare trash container
F-16.1	Painted parking striping
F-16.2	Painted accessible parking symbol and striping
F-18.0	Concrete ramp slope max. 1:12
F-19.0	Accessible Route- Painted striped walkway min. 36" wide with max cross slope of 1:50

No.	Description	Date
5	Revision 5	12/28/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14
19	Revision 19	21-12-08

KJM Development/

"The Magnuson"
Partial Overall Parking
Garage

Project number 2016-005
Date 05/07/19
Drawn by SAS
Checked by Checker

PUD-4.0

Scale 3/64" = 1'-0"



Partial Overall Garage Level
(South End)
1 PUD-4.0
3/64" = 1'-0"

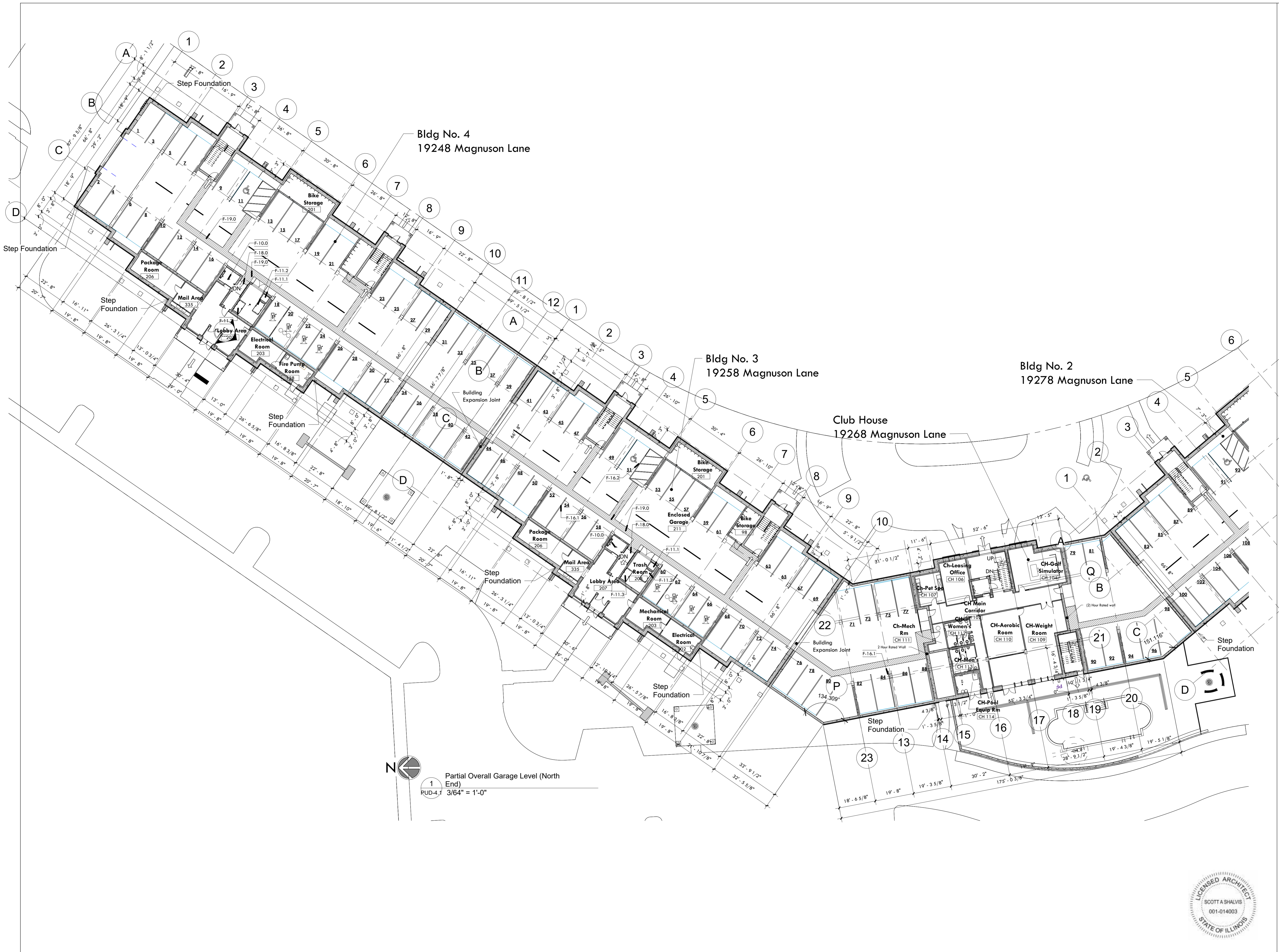


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Keynote Legend

Key Value	Keynote Text
F-10.0	Gen2 by Otis Elevator, 3500lb capacity, speed 350 fpm, Machine room-less entry doors on rear in upper levels, side opening door, 9'-0" cab 01
F-11.1	Model 520SS Chute fed trash compactor by Compactors Inc. (800-423-4003) or approved equal
F-11.2	Two cubic yard front load container
F-11.3	Spare trash container
F-16.1	Painted parking striping
F-16.2	Painted accessible parking symbol and striping
F-18.0	Concrete ramp slope max 1:12
F-19.0	Accessible Route-Painted stripped walkway min. 36" wide with max cross slope of 1:50



No.	Description	Date
5	Revision 5	12/28/2018
6	Revision 6	19-01-10
8	Foundation Permit	19-05-10
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14

KJM Development/

"The Magnuson"
Partial Overall Parking Garage

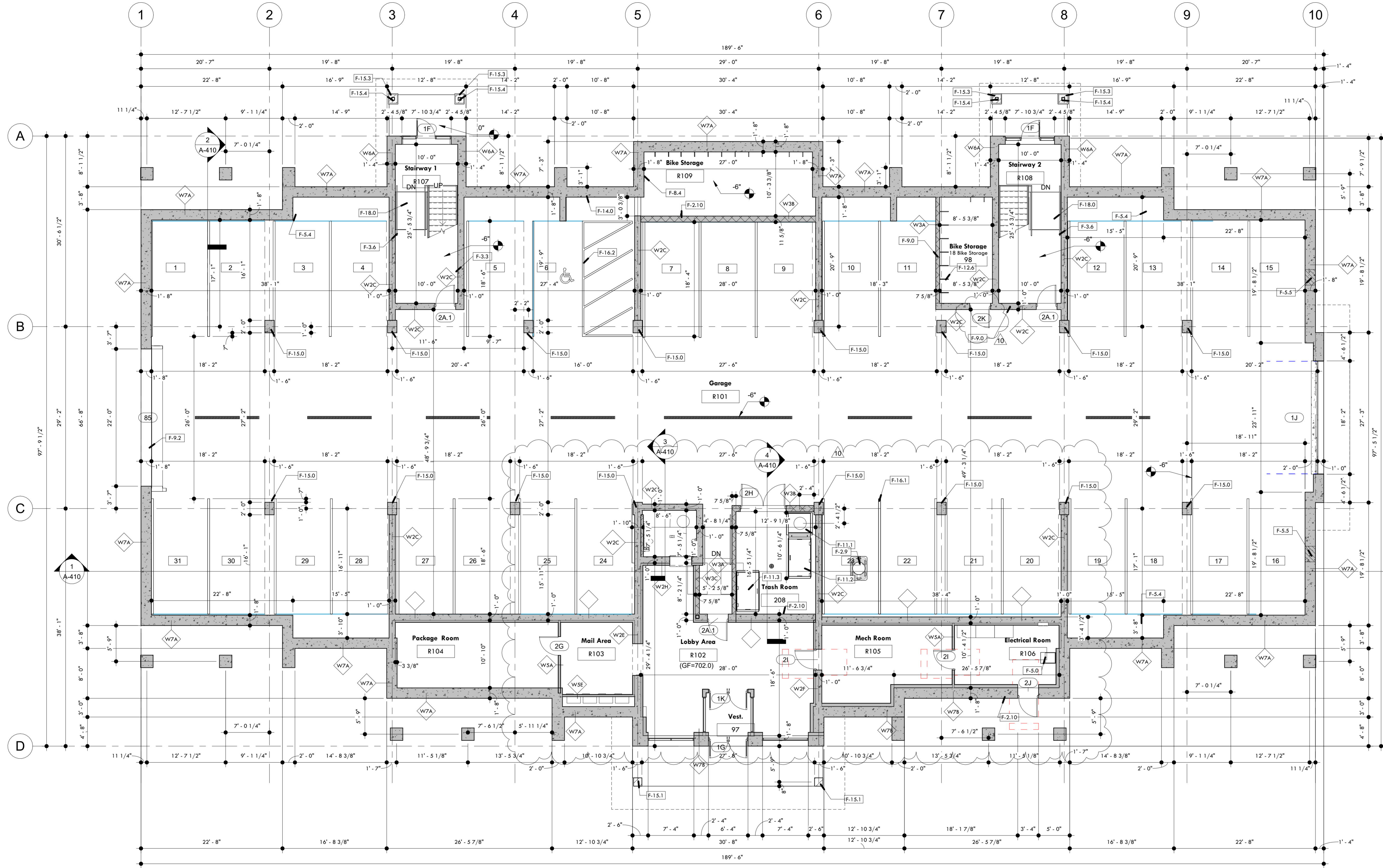
Project number 2016-005
 Date 05/07/19
 Drawn by Author
 Checked by Checker

PUD-4.1

Scale 3/64" = 1'-0"



Note to all Bidders
 All units and common areas shall comply with the 2006 International Building Code (loof leaf)
 and 2012 International Building Code Accessibility Code to comply with the Fair Housing Act.



1 Building 1 Ground Floor Plan Copy 1
 1/8" = 1'-0"



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Keynote Legend	
Key Value	Keynote Text
F-2.9	Flammable liquid separator with extension and water/gas-tight seal and have a maximum 16,000 lbs load capacity- see Plumbing Drawings for further information
F-2.10	Hose bibbs refer to plumbing drawings for further information
F-3.3	1'-0" Handrail extension at bottom of stairs.
F-3.6	1'-0" Handrail extension at bottom of ramp
F-5.0	Gas Furnace for common area-refer to engineering drawings by Larson Engineers for further information
F-5.4	Gas unit heaters suspended from precast panels- refer to Mechanical Drawings by others for further information
F-5.5	Intake vent- refer to Mechanical Drawings by others for further information
F-8.4	Electrical unit heaters-refer to electrical drawings by others for further information
F-9.0	6" CMU 2 Hour Rated UL Design No. U905
F-9.2	Firestar Model 700 Rolling Steel Fire door by Wayne Dalton conforming to NFPA Standard 80 or approved equal
F-11.1	Model 5205S Chute fed trash compactor by Compactors Inc. (800-423-4003) or approved equal
F-11.2	Two cubic yard front load container
F-11.3	Spare trash container
F-12.6	Bicycle Racks- Vertical model no. 89542F wall mounted by SecurABike securabike.com or approved equal
F-14.0	Wall mounted accessibility parking sign (centered on parking space mounted min./48" above finish floor)
F-15.0	Precast column with chamfered corners, 2 Hour rated. Columns to be painted yellow from finish floor to 4'-0" above finish floor then white above
F-15.1	Precast column with thin stone wrap
F-15.3	Stone pier with four way stone cap
F-15.4	Steel tube column primed and painted (architectural exposed column)
F-16.1	Painted parking striping
F-16.2	Painted accessible parking symbol and striping
F-18.0	Concrete ramp slope max 1:12

No.	Description	Date
1	Progress Set	18-12-01
10	Revision 10	20-01-09

KJM Construction

The Magnuson
 Bldg 1 Ground Floor
 Plan Copy 1

Project number	2016-005
Date	05-07-2019
Drawn by	SAS
Checked by	Checker

PUD-5.0

Scale 1/8" = 1'-0"



1 Second Floor Exhibit
1/8" = 1'-0"



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No.	Description	Date
5	Progress Drawings	18-12-19
6	Progress Drawings	19-01-10
11	Superstructure Permit	20-08-01
13	Code response	21-03-16

KJM Construction

"The Magnuson"
2nd Floor

Project number	2016-005
Date	01-30-2020
Drawn by	Author
Checked by	Checker

PUD-5.1

Scale 1/8" = 1'-0"

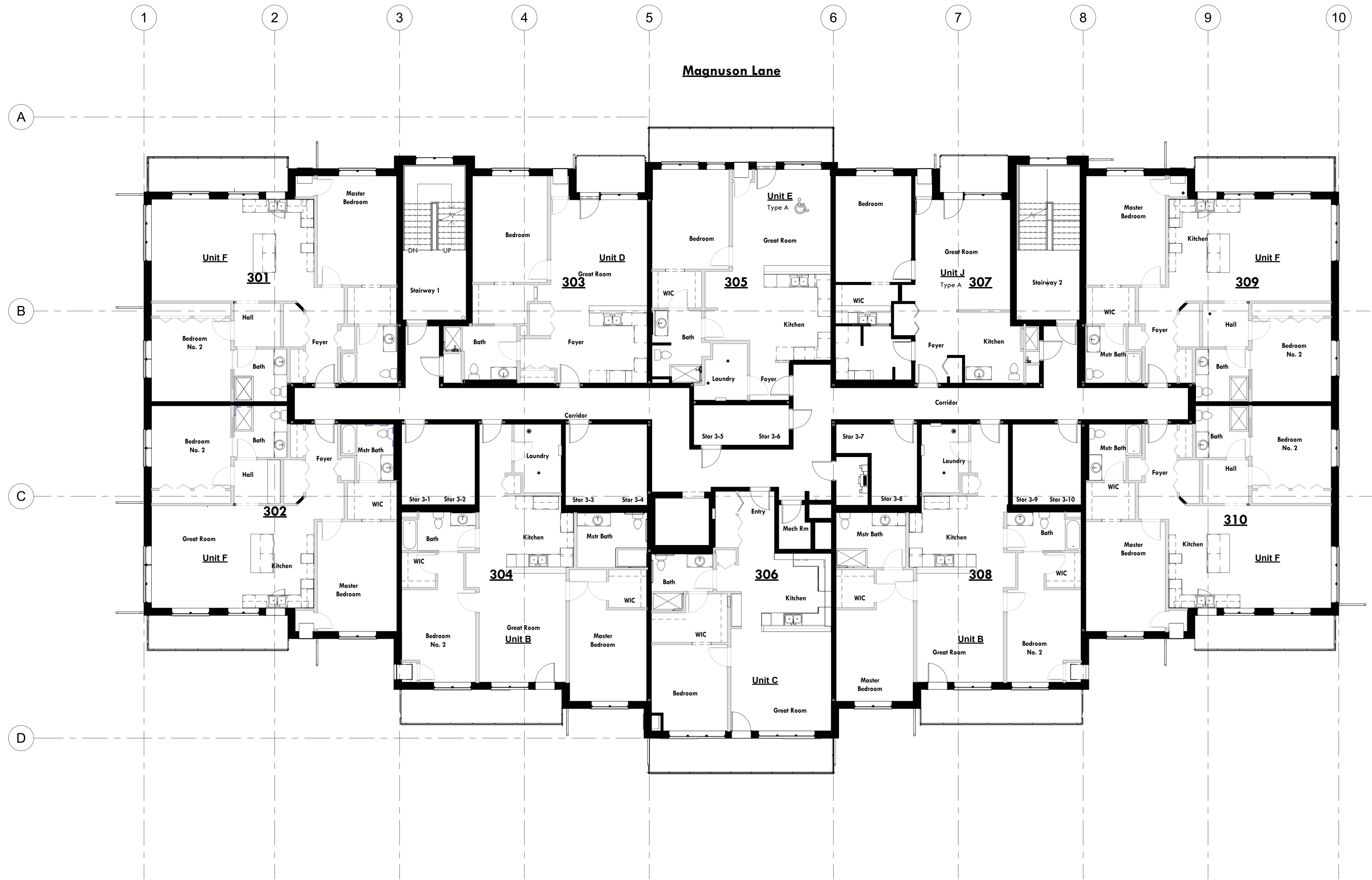
Commercial | Residential | Industrial



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Fax: 708-966-0854

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① Third Floor Exhibit
1/8" = 1'-0"

No.	Description	Date
13	Code response	21-03-16

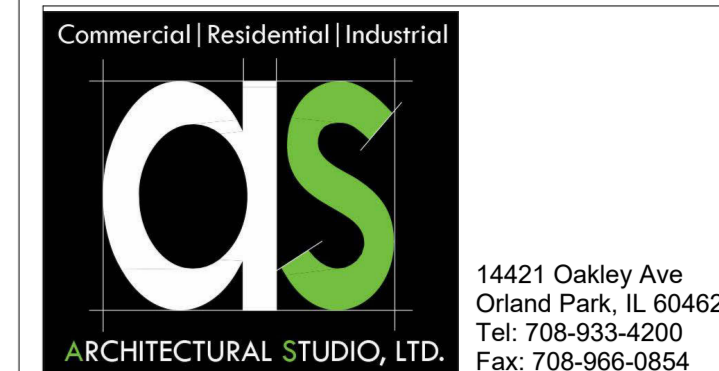
KJM Construction

"The Magnuson"
3rd Floor

Project number 2016-005
Date 01-30-2020
Drawn by Author
Checked by Checker

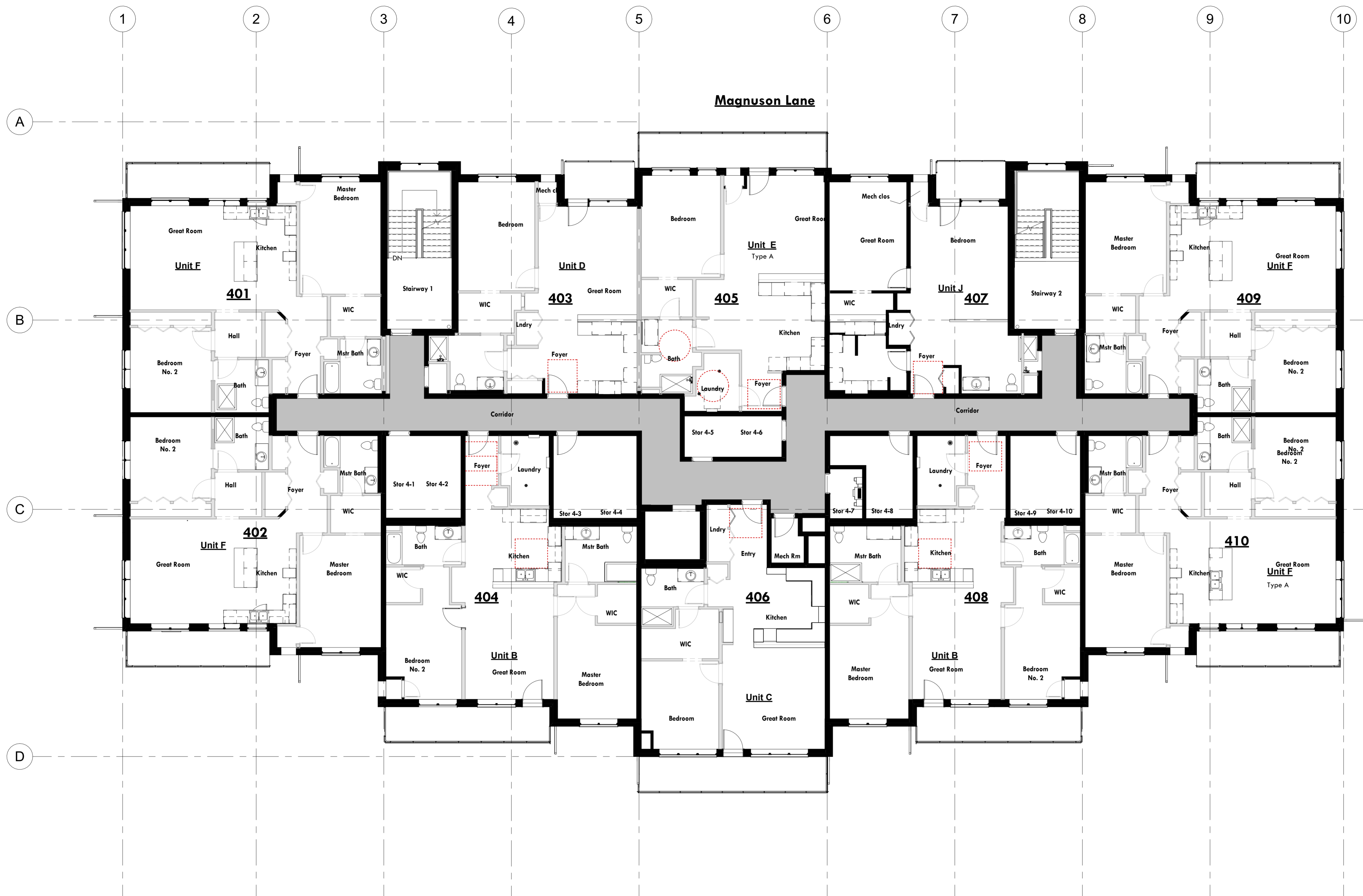
PUD-5.2

Scale 1/8" = 1'-0"



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① Fourth Floor Exhibit
 1/8" = 1'-0"

No.	Description	Date
5	Progress Drawings	18-12-19
6	Progress Drawings	19-01-10
13	Code response	21-03-16

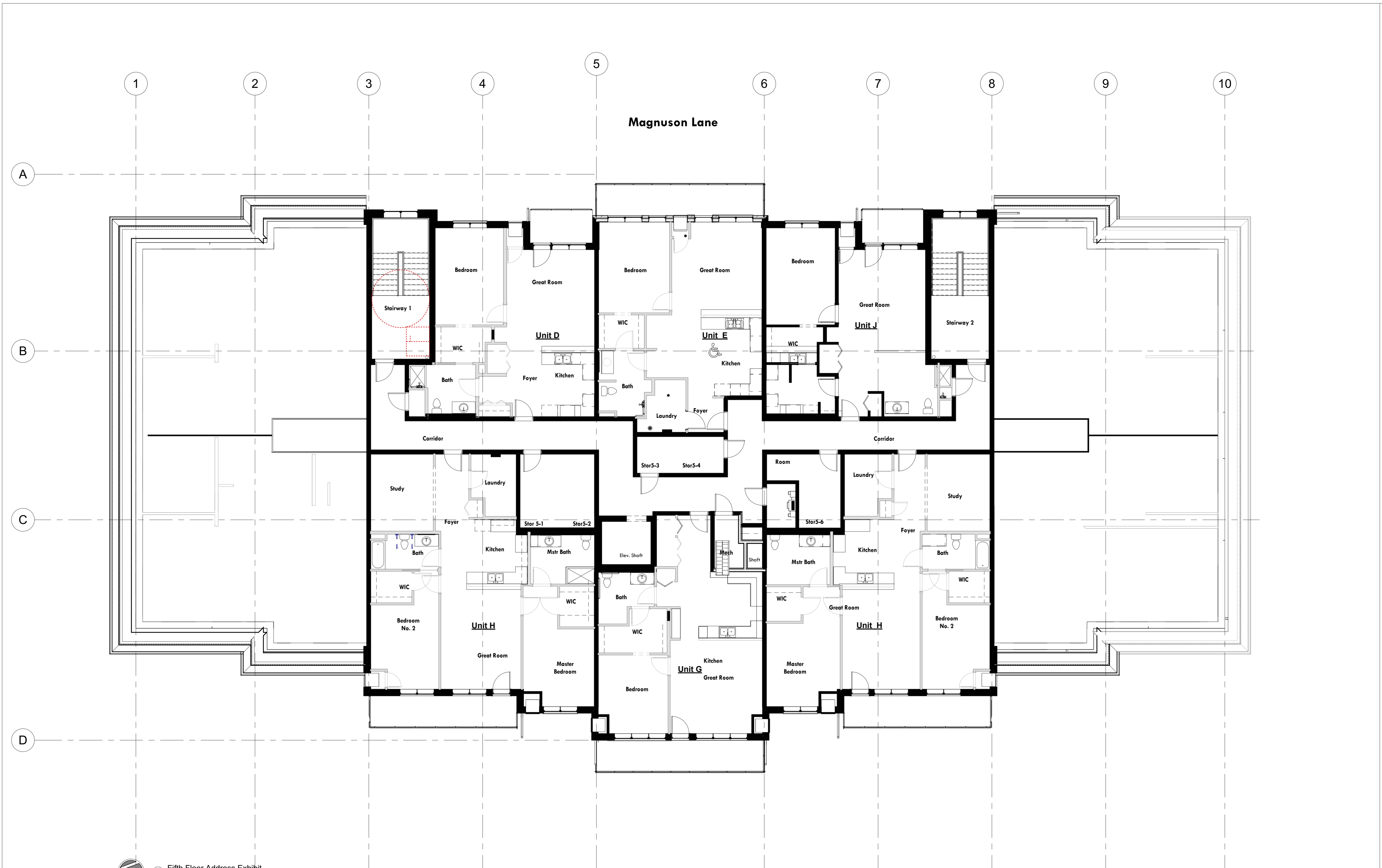
KJM Construction

"The Magnuson"
 4th Floor

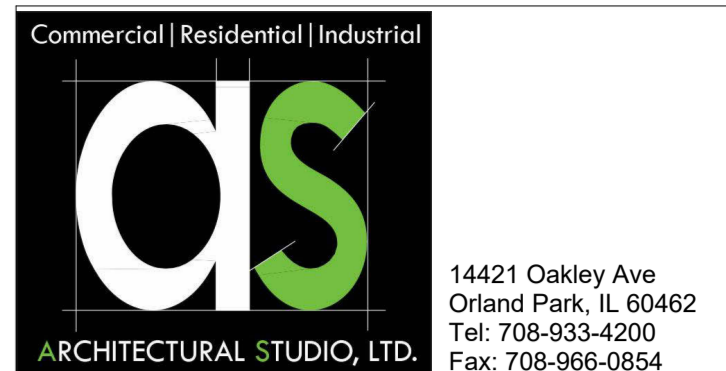
Project number	2016-005
Date	01-30-2020
Drawn by	Author
Checked by	Checker

PUD-5.3

Scale	1/8" = 1'-0"
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① Fifth Floor Address Exhibit
 1/8" = 1'-0"



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No.	Description	Date
5	Progress Drawings	18-12-19
11	Superstructure Permit	20-08-01
13	Code response	21-03-16

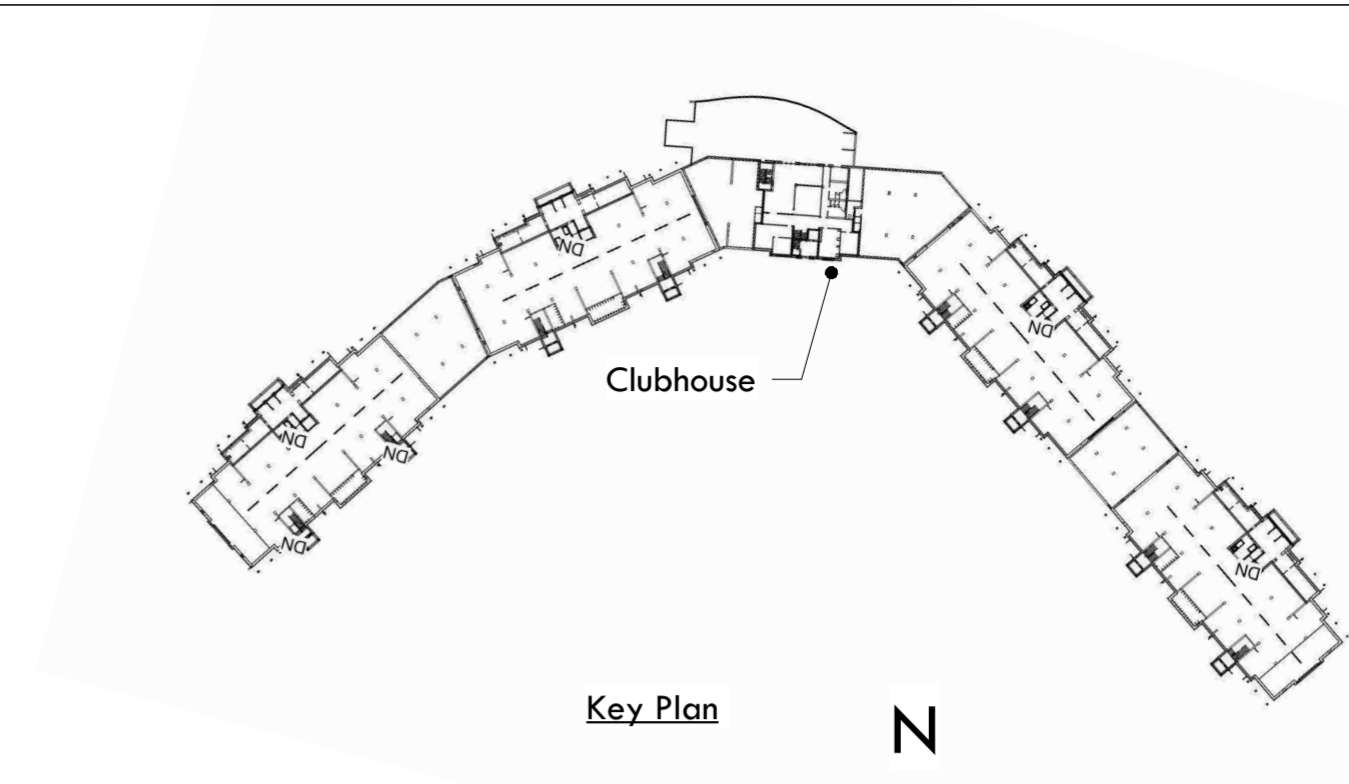
KJM Construction

"The Magnuson"
 5th Floor

Project number	2016-005
Date	01-30-2020
Drawn by	Author
Checked by	Checker

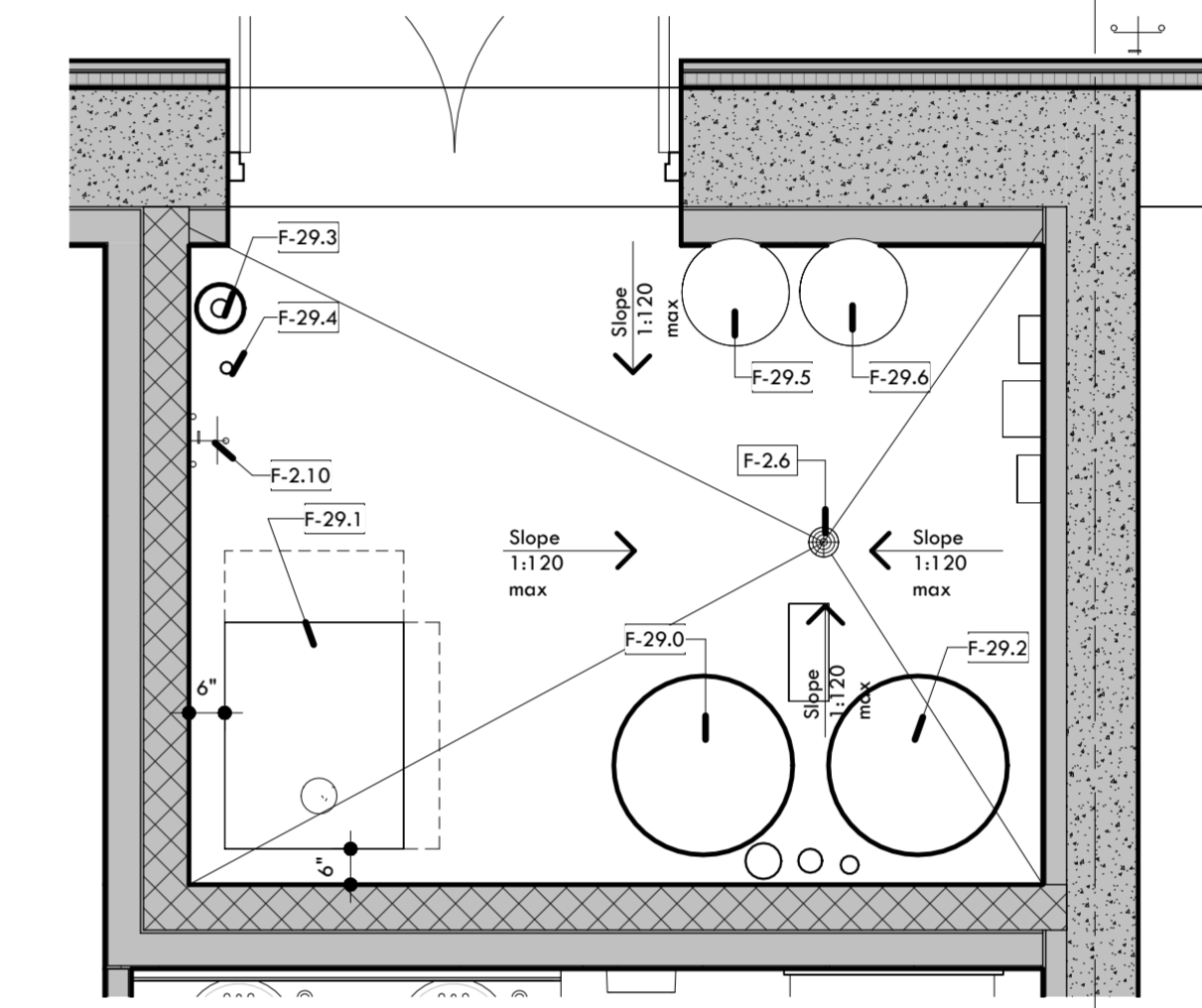
PUD-5.4

Scale 1/8" = 1'-0"



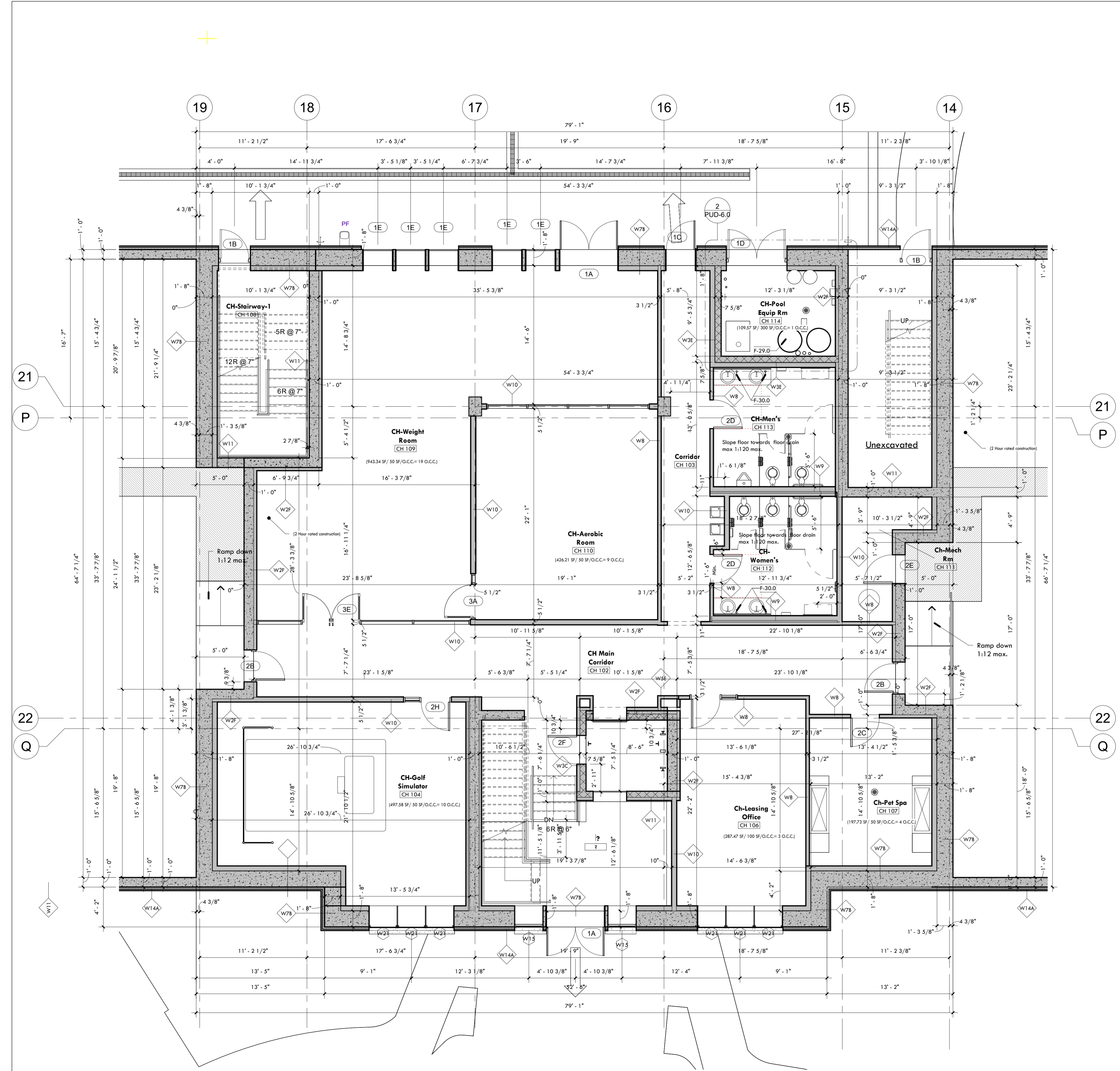
Architectural Studio, Ltd.
www.archstudiold.net

Keynote Legend	
Key Value	Keynote Text
F-2.6	Floor drain
F-2.10	Hose bibb refer to plumbing drawings for further information
F-29.0	24" dia. x 36" deep Backwash pit. Connected backwash pit to sanitary sewer. Provide 6" air gap.
F-29.1	Pool heater, 199,999 B.T.U. w/ 4" B flue.
F-29.2	Pool filter. Refer to pool drawings for further information
F-29.3	8" Swimming pool fill pipe. Reduce to 2" below floor. See pool drawings for further information
F-29.4	2" Swimming pool reflection pipe for water level controller probes. See pool drawings for further information
F-29.5	Acid Storage Tank (55 Gal. capacity)
F-29.6	Chlorine Storage Tank (55 Gal. capacity) See pool drawings for further information
F-30.0	Soap dispenser



2 Pool Equipment Rm
PUD-6.0 3/8" = 1'-0"

- Note:
- All residential unit doors are within 500'-0" of a pool enclosure entrance (horizontal distance only)
 - Men's and Women's restroom are considered convenient restrooms and shall meet code requirements with exception to plumbing fixture count.



1 Clubhouse Lower Level Floor Plan
PUD-6.0 3/16" = 1'-0"

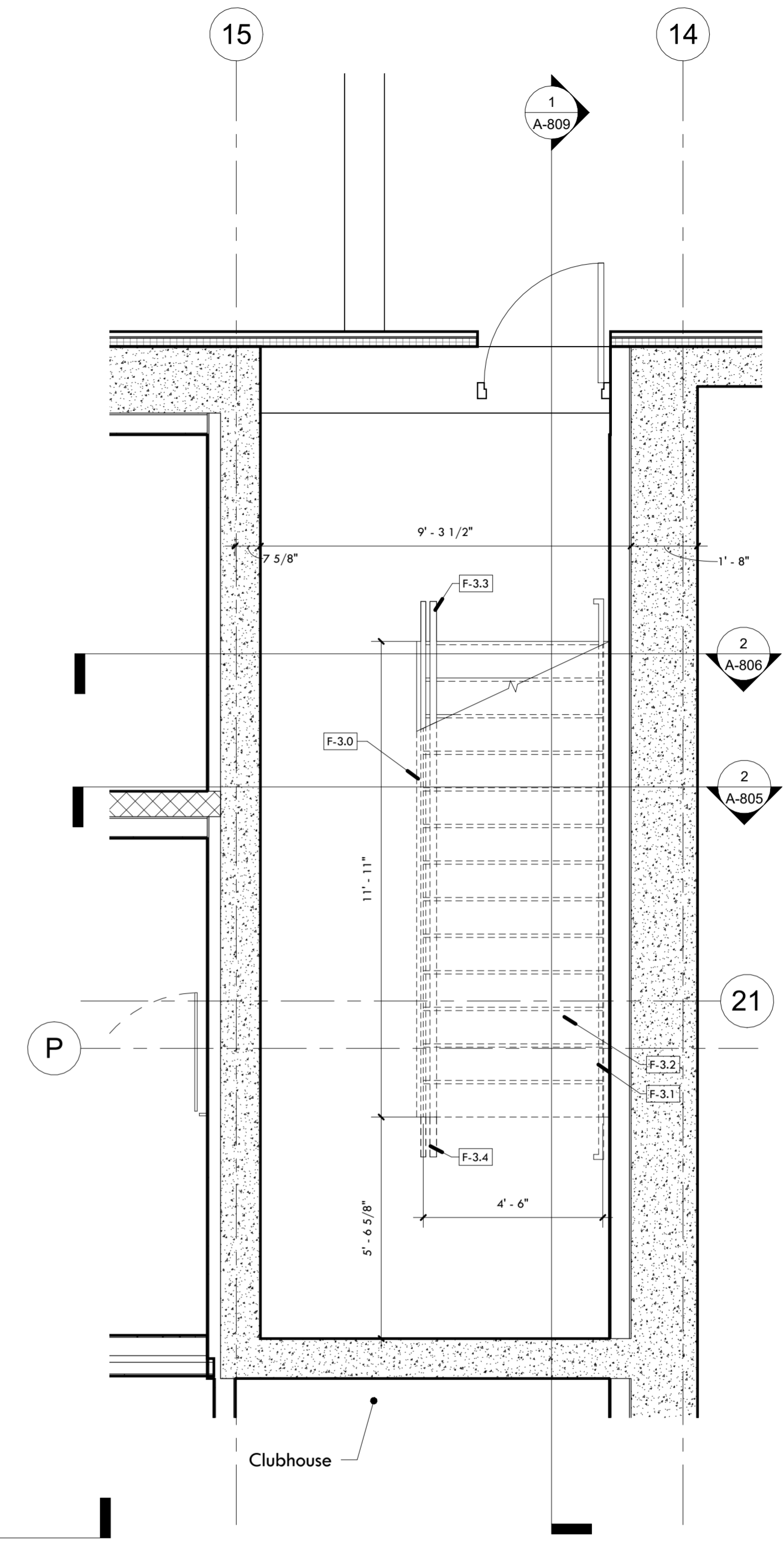
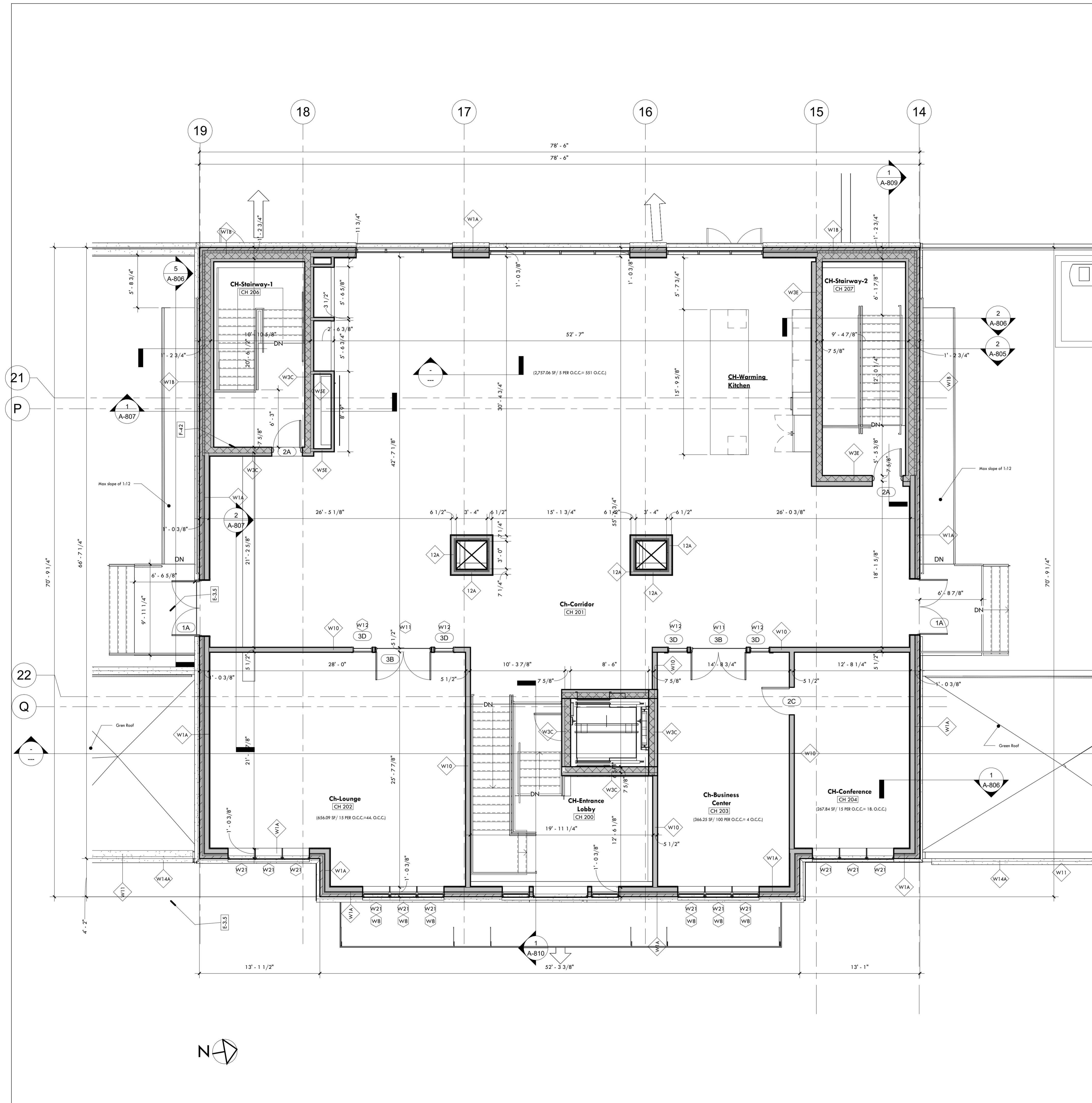


KJM Development/
"The Magnuson"
Club House Lower Level Plan

Project number	2016-005
Date	05/07/19
Drawn by	Author
Checked by	Checker

PUD-6.0

Scale As indicated



Clubhouse 2nd Floor Plan - Callout
 2
 1
 PUD-6.1 3/8" = 1'-0"

Commercial | Residential | Industrial

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Keynote Legend

Key Value	Keynote Text
E-3.5	Roof drain-Refer to pumping drawings for further information
F-3.0	42" high handrail/ guardrail. Handrail at +34-36" to return to wall or newel post, opening limitation: 4" diameter sphere can not pass thr. (Typ. handrail/guardrail)
F-3.2	Engineered pre-fabricated steel stair/ landing system with non-slip, solid treads and risers, furnished and installed by misc steel contractor- stair treads 11", max. risers 7" (max)
F-3.4	1'-0" Handrail extension at top of stairs
F-4.2	

No.	Description	Date
8	Foundation Permit	19-05-10
11	Superstructure Permit	20-08-01
13	Code review response	21-03-24
14	Pool submittal	21-06-14

KJM Development/

"The Magnuson"

2nd floor Club House

Project number 2016-005
 Date 05/07/19
 Drawn by SAS
 Checked by Checker

PUD-6.1

Scale As indicated





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Keynote Legend

Key Value	Keynote Text
007	Double grill center w/ rinse sink
008	Pergola- See sheet A-005 for further information
029	Green Roof
041	Deck tile on adjustable pedestals
E-1.0	Brick veneer- Utility size brick with natural color mortar (3 5/8" thick)
E-2.0	Natural Thin stone veneer
E-2.1	
E-2.3	Cut stone sill w/ pvc sill flashing with stainless steel drip edge and weep holes @ 16" o.c. Provide preformed end dams at each end of the sill
E-3.4	60 mil EPDM fully adhered roofing system over polycarbonate rigid insulation
E-4.2	Prefinished aluminum coping
E-8.2	Exhaust vent Color to match color of surrounding material-refer to mechanical drawings for further information

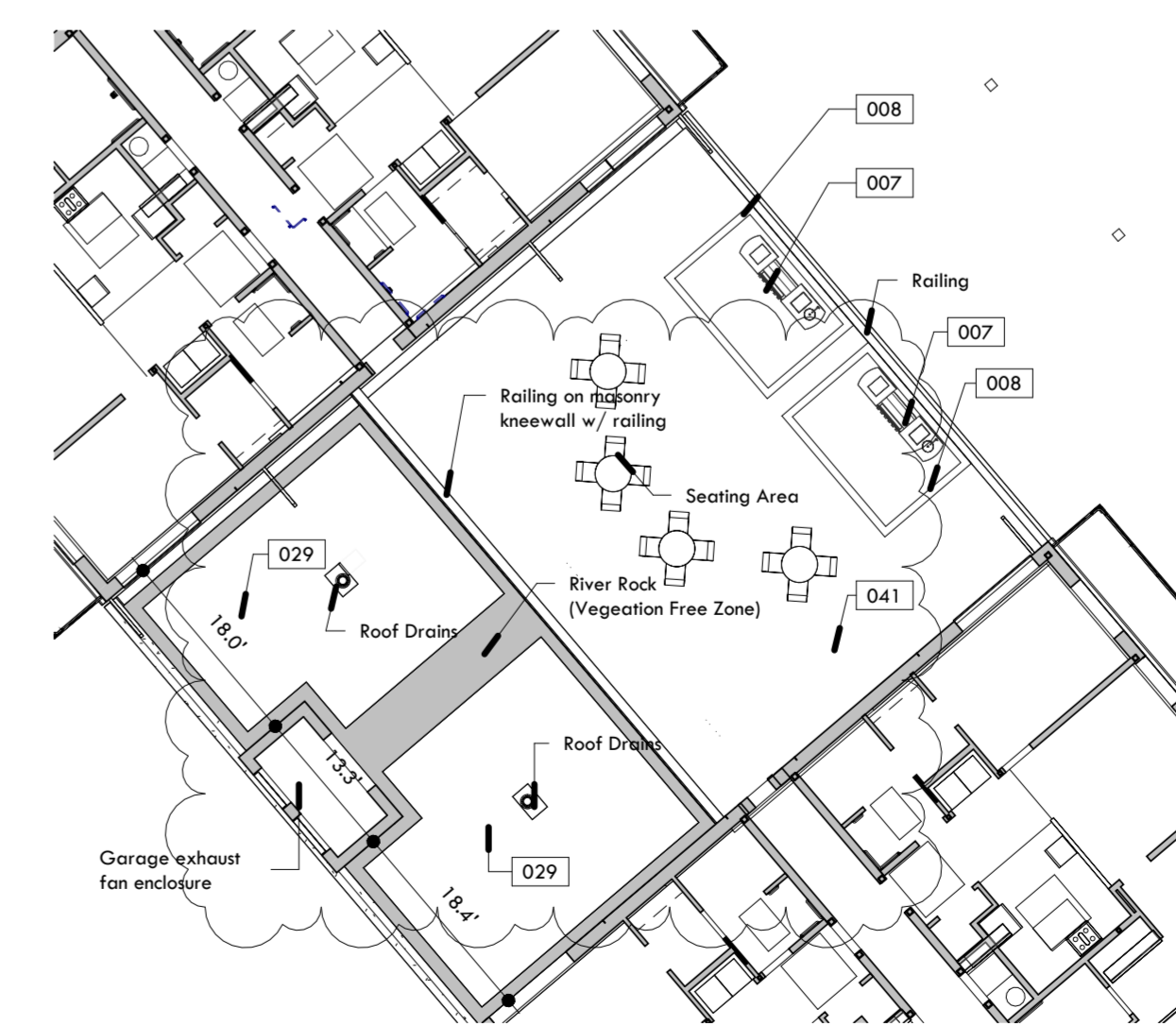
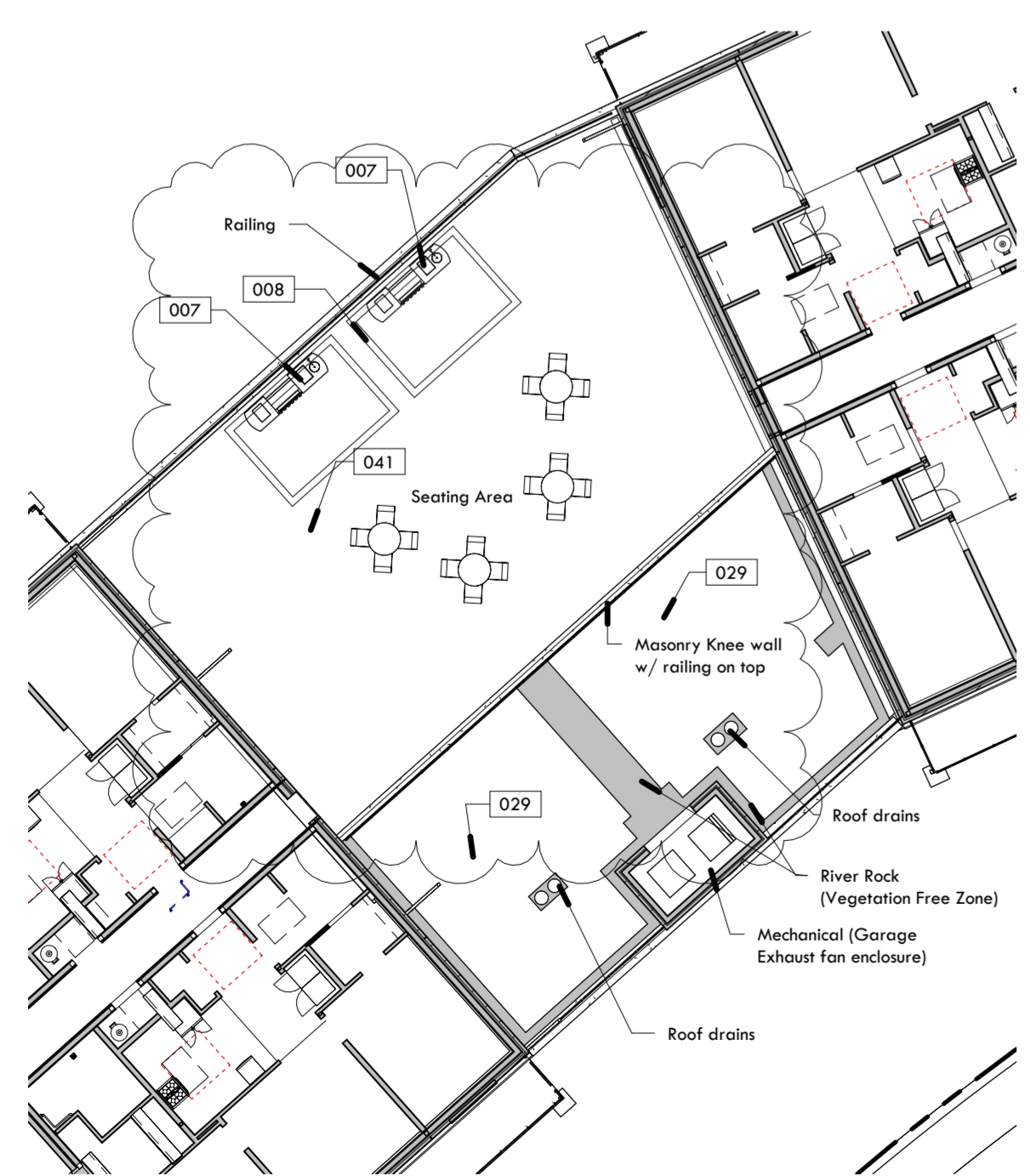
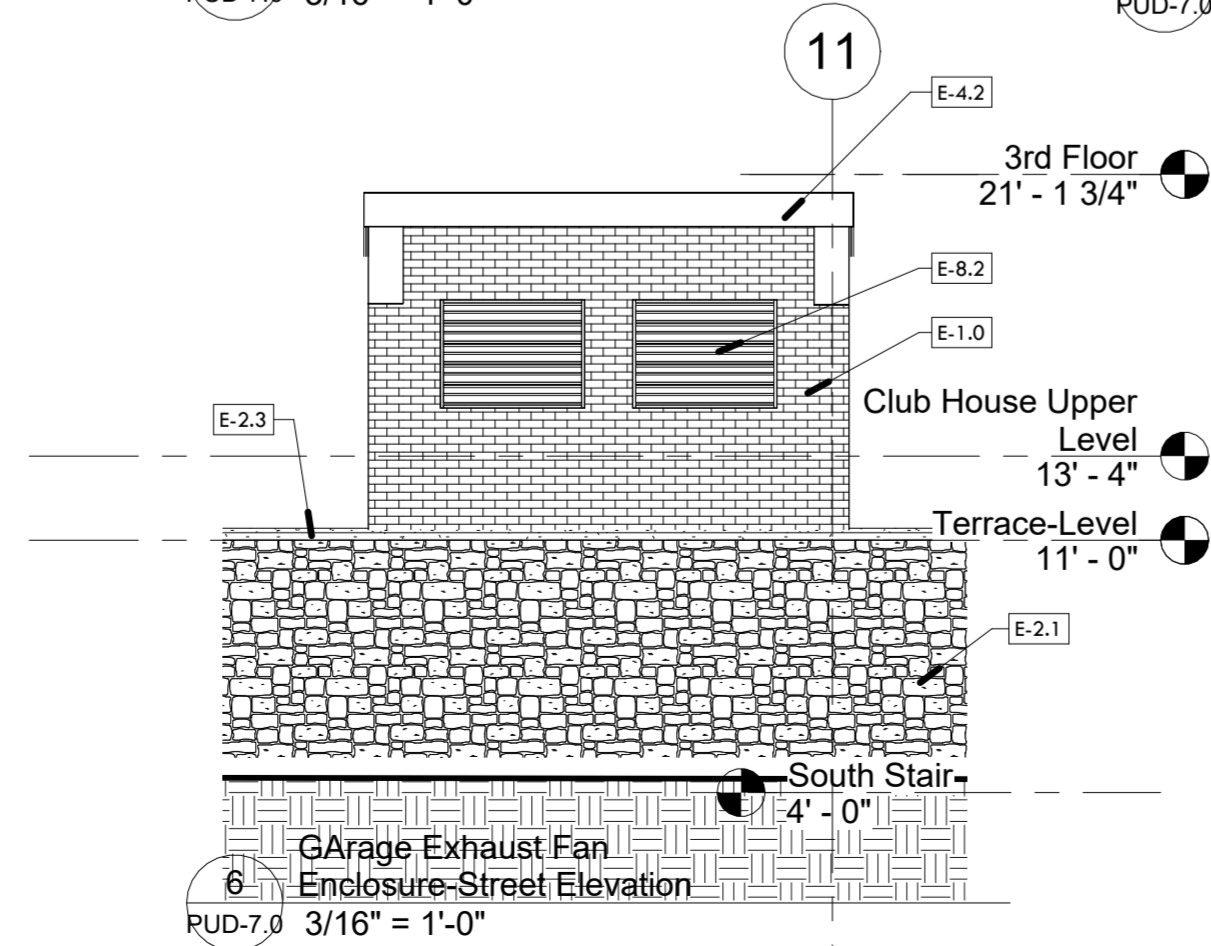
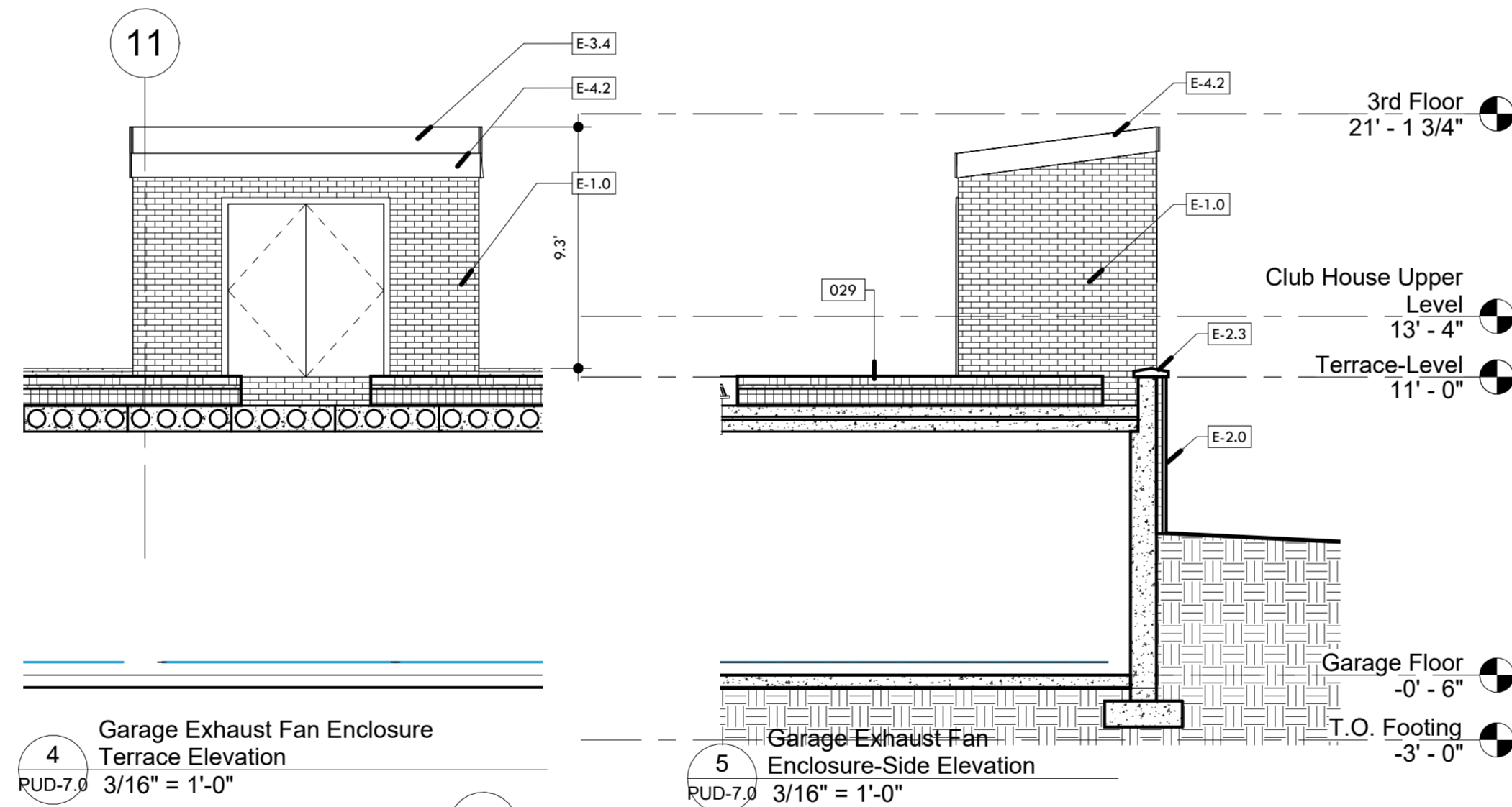
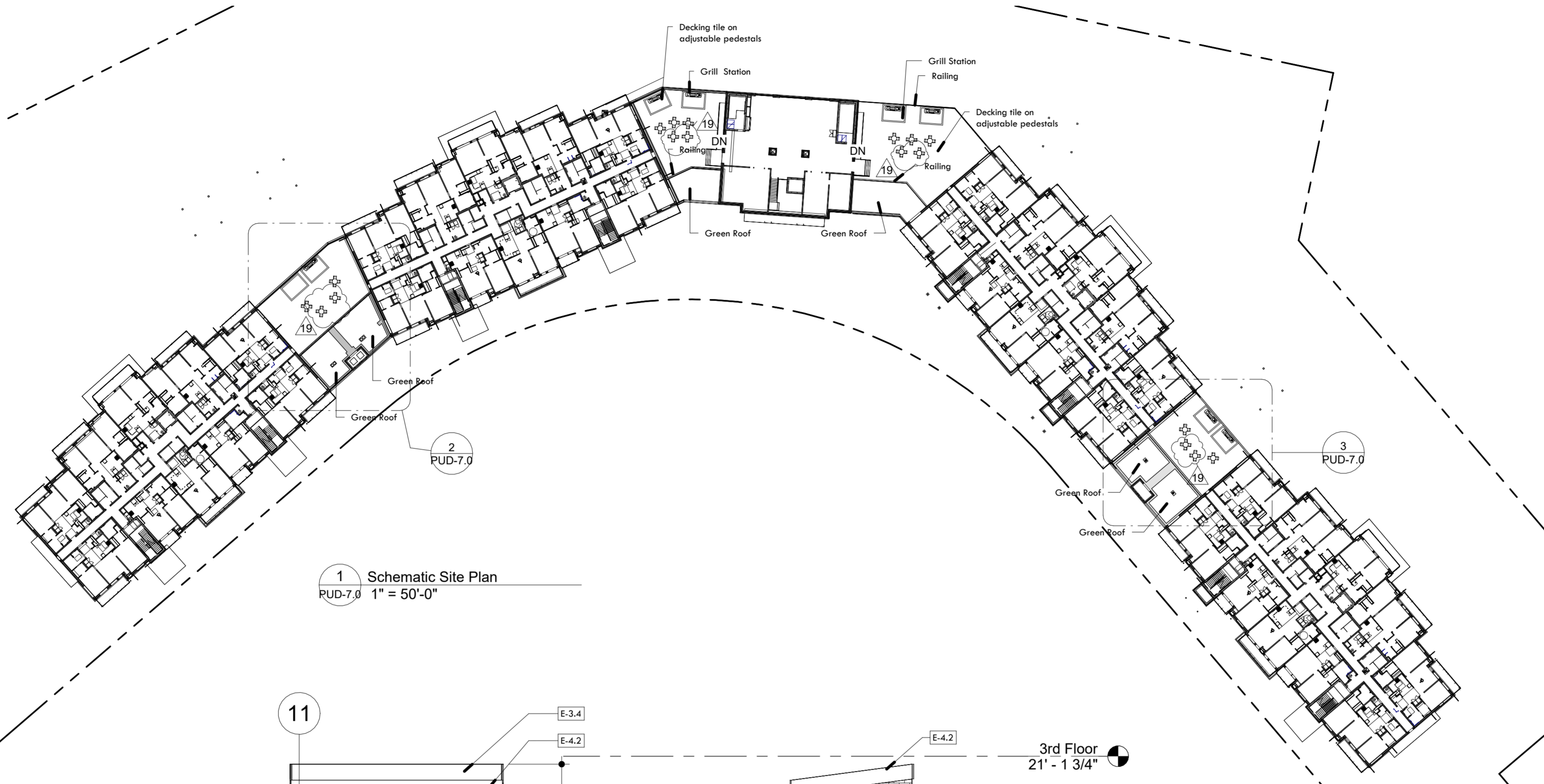
No.	Description	Date
16	resubmittal for zoning	21-11-12
17	Revision 17	21-11-16
18	Revision 18	21-11-30
19	Revision 19	21-12-08

KJM Development/
 "The Magnuson"
 Connector & Exhaust Fan Enclosure

Project number 2016-005
 Date 05/07/19
 Drawn by Author
 Checked by Checker

PUD-7.0

Scale As indicated





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Keynote Legend

Key Value	Keynote Text
007	Double grill center w/ rise sink
008	Pergole - See sheet A-005 for further information
010	Seating Area
029	Green Roof
041	Deck tile on adjustable pedestals
042	Concrete ramp sloped at 1:12
043	Concrete stairs
044	42" high alum. rolling rolling w/ wire mesh infill panels

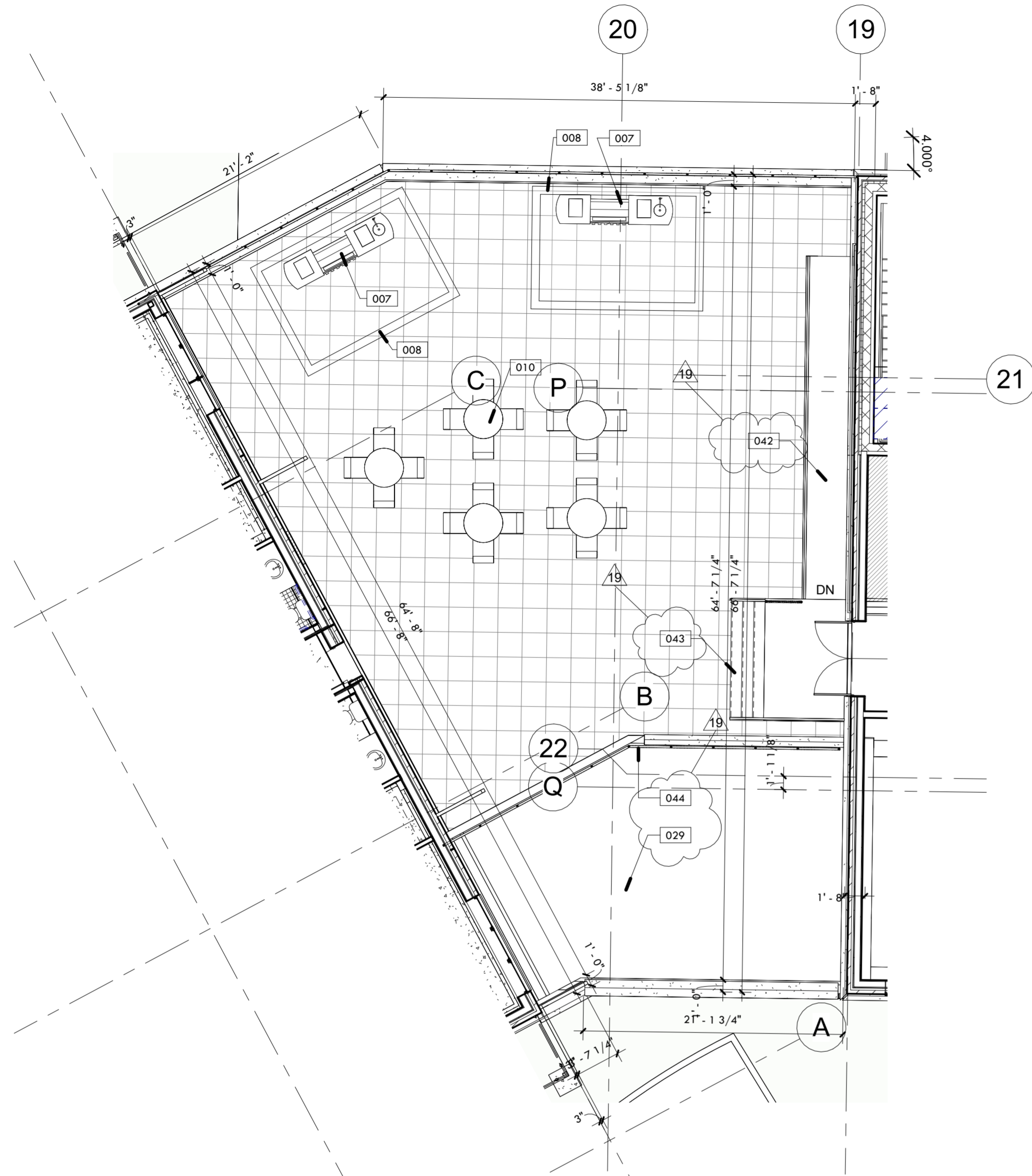
No.	Description	Date
19	Revision 19	21-12-08

KJM Development/
"The Magnuson"
Connectors

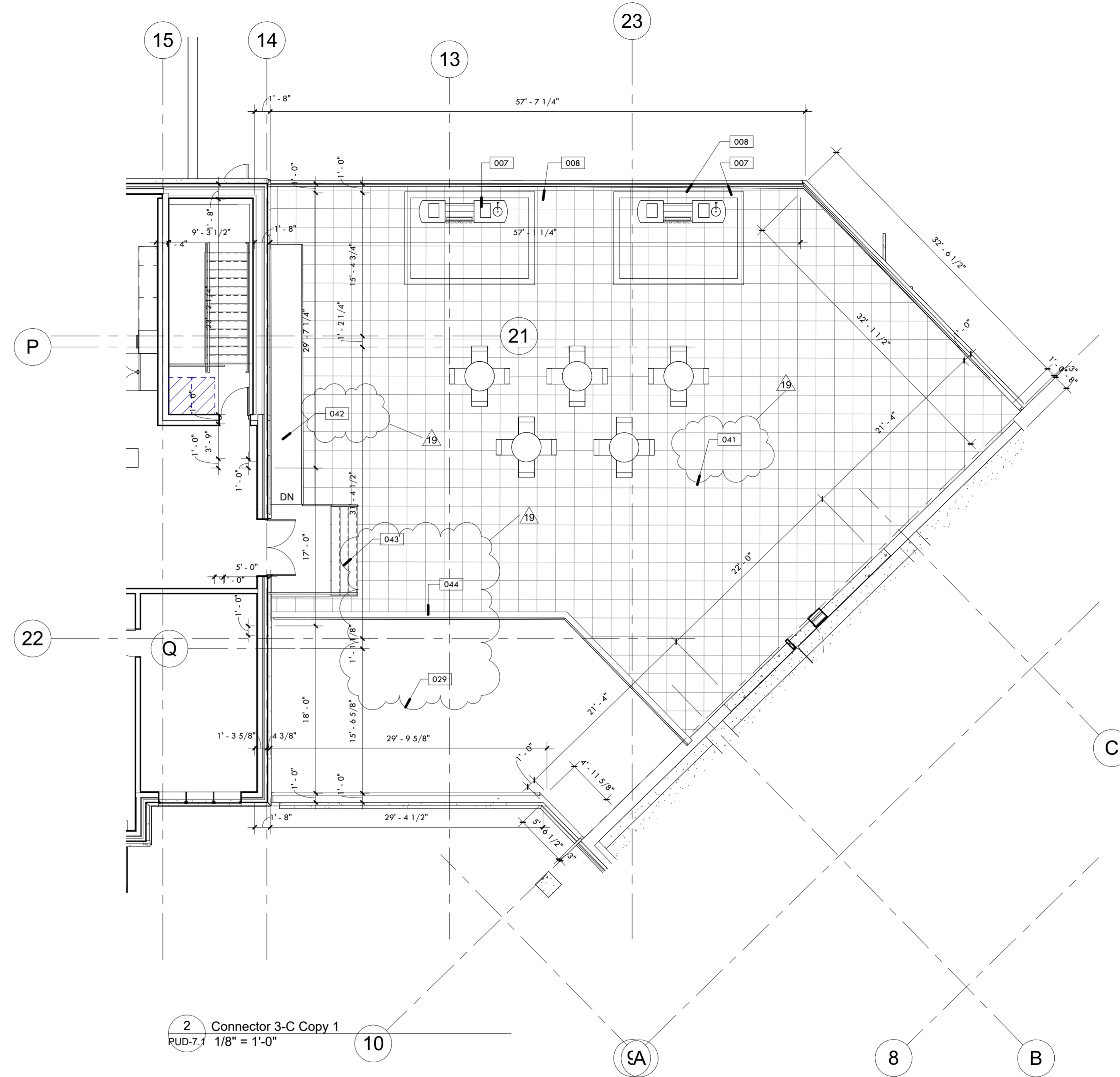
Project number 2016-005
Date 05/07/19
Drawn by Author
Checked by Checker

PUD-7.1

Scale 1/8" = 1'-0"



1 Connector 2-C Copy 1
RUD-7.1 1/8" = 1'-0"



2 Connector 3-C Copy 1
RUD-7.1 1/8" = 1'-0"

Images of Concepts (i.e. examples) only, Final Designs may vary



8' X 8' Commercial Trustee Slat Cabana

Option 1



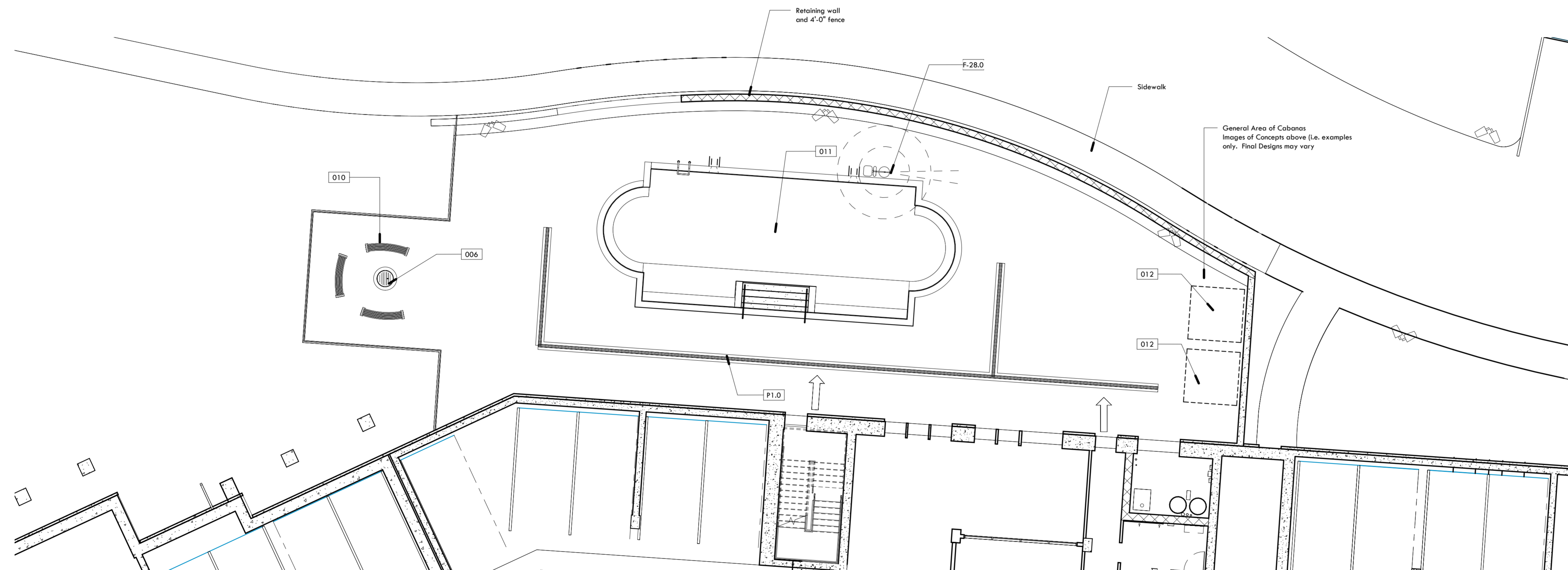
12' X 12' Commercial Del Mar Presidential Cabana With Marine Grade Fabric

Option 2



The Queen Size Villa Daybed With Frame

Option 3



1 Schematic Site Plan Pool Area
PUD-7.2 1" = 10'-0"



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Keynote Legend

Key Value	Keynote Text
006	Fire Pit
010	Seating Area
011	Pool-designed by others. Pool drawings to be submitted under separate permit
012	Cabana
F-28.0	Handicap lift and anchor
P1.0	Trench drain

No.	Description	Date
16	resubmittal for zoning	21-11-12

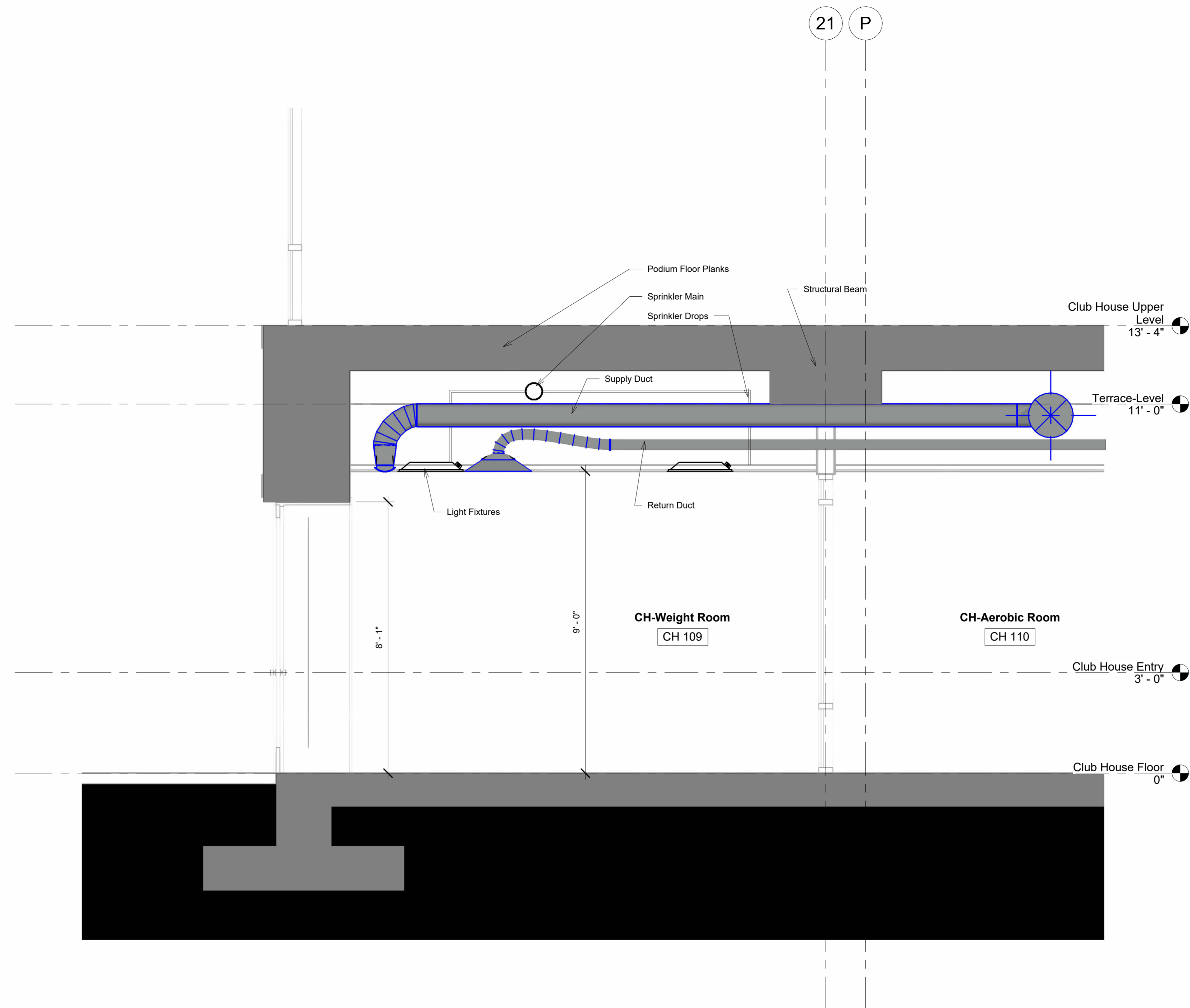
KJM Development/

"The Magnuson"
Cabana

Project number	2016-005
Date	05/07/19
Drawn by	Author
Checked by	Checker

PUD-7.2

Scale	1" = 10'-0"
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1 Club House Diagram
1/2" = 1'-0"



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No.	Description	Date

KJM Development

"The Magnuson"
Diagrams

Project number 2016-005
Date 2021-12-10
Drawn by Author
Checked by Checker

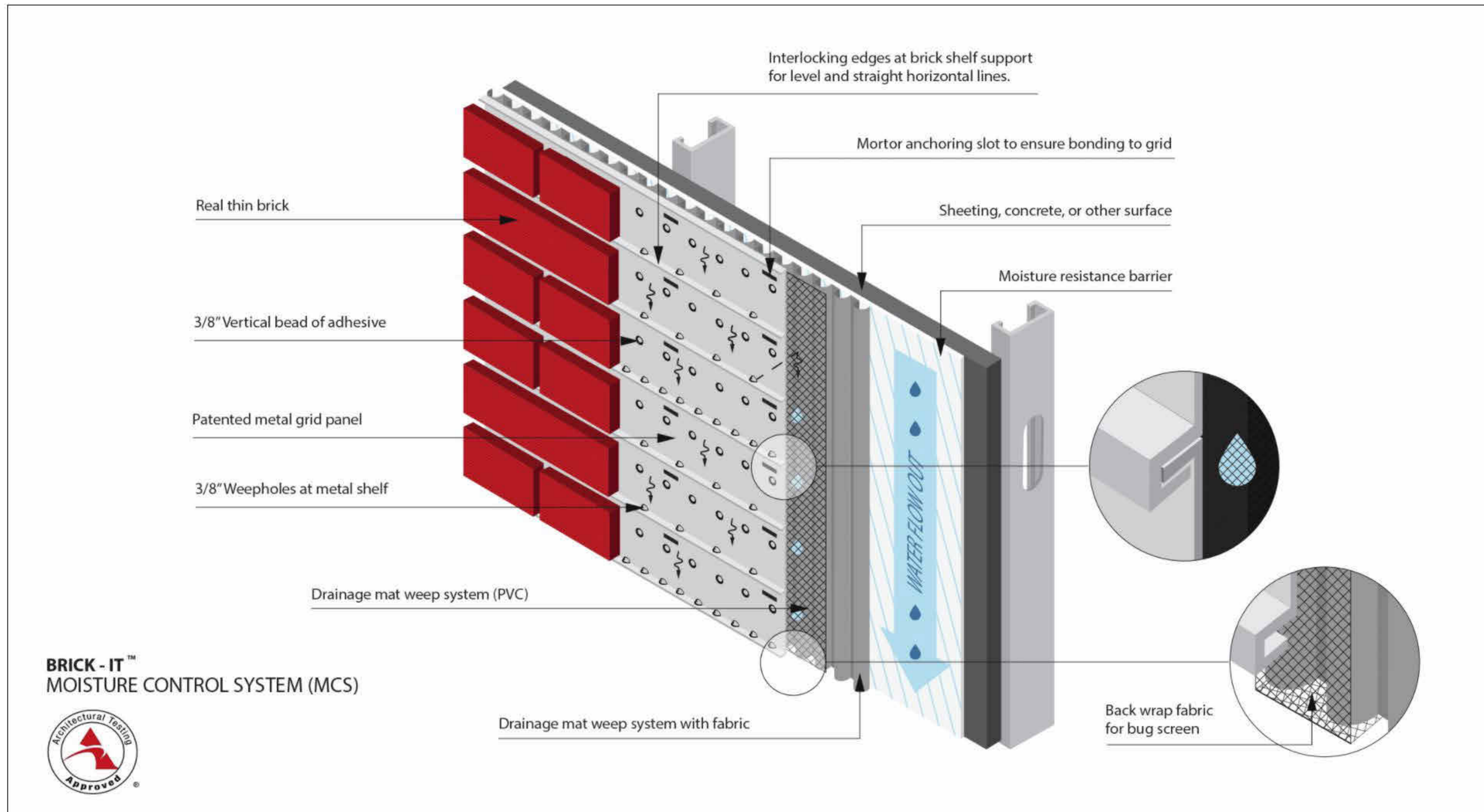
PUD-8.0

Scale 1/2" = 1'-0"





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No.	Description	Date

KJM Development/
"The Magnuson"
Thin Brick Installation

Project number 2016-005
Date 05/07/19
Drawn by Author
Checked by Checker

PUD-8.1

Scale

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-013

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR TINLEY DOWNS
PLAZA PLANNED UNIT DEVELOPMENT AT CERTAIN PROPERTY**

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2022-O-013**AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR TINLEY DOWNS
PLAZA PLANNED UNIT DEVELOPMENT AT CERTAIN PROPERTY**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for the granting of a Special Use for Final Approval of a Special Use for the Tinley Downs Plaza Planned Unit Development ("PUD") to allow for the redevelopment of an existing commercial property located at 7901-7951 171st Street, Tinley Park, Illinois, commonly known as Tinley Downs Plaza ("Subject Property"), has been filed by Richard Mommsen on behalf of Daley -Mommsen Enterprises (d/b/a Dunkin' Donuts) ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Special Use Permit and Preliminary Plat should be granted on January 20, 2022, at the Village Hall of this Village of Tinley Park ("Village"), at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted 7-0 and has filed its report and findings and recommendations that the proposed Special Use be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report, findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special use; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Planned Unit Development set forth in Section VII.C, Special use standards in Section X.J.5., and the Site Plan and Architecture guidelines as set forth in Section III.U.6., and the proposed granting of the PUD and Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section VII.C. Standards: No Planned Unit Development (PUD) shall be authorized by the Village Board unless the following standards and criteria are met:

- A. The site of the proposed planned unit development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village;
- B. The Planned Unit Development will not substantially injure, or damage the use, value, and enjoyment of the surrounding property, nor hinder or prevent the development of surrounding property in accordance with the Land Use Plan of the Village;
- C. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated;
- D. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police, and fire protection;
- E. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer;
- F. The street system serving the Planned Unit Development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the Planned Unit Development will be adequate to serve the residents or occupants of the proposed development;
- G. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities, or common open space, the developer shall provide and submit, as part of the application, the method and arrangement whereby these private facilities shall be operated and maintained;
- H. The general development plan shall contain such proposed covenants, easements, and other provisions relating to the bulk, location, and density of residential buildings, non-residential uses and structures, and public facilities as are necessary for the welfare of the Planned Unit Development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the landowners within the development;
- I. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably be required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion; and
- J. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - *The development is largely existing and was previously developed; the new drive-thru will not cause public health or safety concerns.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - *The development is largely existing and was previously developed; the new drive-thru does not appear to cause negative effects on neighboring properties.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - *The surrounding area has already been developed and the proposed changes do will not affect any future development in the area.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - *The development is existing with sufficient roads, access, drainage and utilities.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
 - *Per the Petitioner's traffic and parking impact study, the drive-thru has been designed to avoid negatively impacting on-site traffic, parking concerns, and any off-site stacking or traffic issues.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance; and
 - *All other village requirements not covered by the Planned Unit Development and noted exception will be met.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
 - *The redevelopment will translate into increased occupancy and higher property and sales tax output from the subject site. The project will fill a large vacancy in the center and retain a long-term tenant. Drive-thrus are in high demand due to changing consumer demands related to covid-19 and the site has been properly*

designed to be successful at this location and increase food sales for the tenant, translating.

SECTION 3: The Special Use Permit set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION:

THE WEST 558.00 FEET OF THE NORTH 375.33 FEET OF THE HORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 25, IN TONWSHIP 36 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

PARCEL IDENTIFICATION NUMBER: 27-25-316-014-0000

COMMONLY KNOWN AS: 7901 – 7951 171st Street, Tinley Park, IL (Tinley Downs Plaza)

SECTION 4: That a Special Use Permit for a Preliminary Planned Unit Development for the Tinley Downs Plaza at the Subject Property, in accordance with the “List of Reviewed Plans” attached hereto as **Exhibit A**, and subject to the following conditions, is hereby granted:

1. Any changes in drive-thru or parking demand from what was presented requires a new traffic/drive-thru analysis to be submitted and prior approval to ensure the on-site drive-thru stacking and parking is sufficient.
2. The in-line and outlot building shall have matching brick.

SECTION 5: Any future final approval of the Oak Ridge Planned Unit Development shall be in substantial conformance with the approved plans and subject to the following Exceptions from the Zoning Ordinance:

1. Minimum PUD Size – Permit a PUD on a lot that is 3.67 acres, instead of the minimum 5-acre size.
2. Minimum Lot Size – Permit a lot that is 3.67 acres, instead of the 4-acre minimum in the B-1 zoning district.
3. Front Yard Setbacks - Permit a front yard setback of approximately 20-60 feet for the outlot and inline principal structures, instead of the minimum of 125 ft.
4. Front Yard Parking - Permit Parking in the required front yard.
5. Monument Sign - Permit the monument sign size and setback as it exists (around 2-foot setbacks).
6. Permit existing exterior material/masonry coverage on both principal structures (in-line and outlot), with both structures having matching brick.

SECTION 6: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 7: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 8: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 1st day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, Nancy M. O’Connor, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-013, “AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR TINLEY DOWNS PLAZA PLANNED UNIT DEVELOPMENT AT CERTAIN PROPERTY” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

Exhibit A – List of Reviewed Plans**LIST OF REVIEWED PLANS**

Submitted Sheet Name		Prepared By	Date On Sheet
	Tinley Downs Existing Survey	LDI	4.17.13
SP-1	Site Plan	PP	1.10.22
SP-2	Dumpster Enclosure Details	PP	1.10.22
SP-3	Signage Details	PP	1.10.22
A-1 and A1.1	Exterior Elevations and Schedules	PP	1.10.22
C-1 to C-5	Dunkin Drive-Thru Site Improvements (Civil Plans)	MG2A	11.16.21
L-1 & L-2	Landscape Plan	Upland	1.10.22
16pgs	Parking and Traffic Study	KLOA	10.15.21
2pgs	Patio Examples	Petitioner	n/a

LDI = Land Divisions, Inc (Surveyor)

PP = Peter G Paraskis Architect, LTD

MG2A = M Gingerich Gereaux & Associates (Engineering and Surveying)

Upland = Upland Design (Landscape Architects)

KLOA = Kenig, Lindgren, O'Hara, Aboona, Inc. (Traffic Consultants)



PLAN COMMISSION STAFF REPORT

January 20, 2022 – Public Hearing

Dunkin' Donuts Drive-Thru Redevelopment

7901-7951 171st Street (Tinley Downs Plaza)

Petitioner

Richard Mommsen on behalf of Daley - Mommsen Enterprises (d/b/a Dunkin' Donuts)

Property Location

7901-1951 171st Street (Tinley Downs Plaza)

PIN

27-25-316-014-0000

Zoning

B-1, Neighborhood Shopping

Approvals Sought

- Special Use for a PUD
- Site Plan & Architectural Approval

Project Planner

Daniel Ritter, AICP
Planning Manager



EXECUTIVE SUMMARY

The Petitioner, Richard Mommsen on behalf of Daley-Mommsen Enterprises (d/b/a Dunkin' Donuts), is requesting a Special Use for a Planned Unit Development (PUD) with Exceptions from the Zoning Ordinance and Site Plan/Architectural Approval. The requests are for the proposed redevelopment of an outlot building with a drive-thru for Dunkin' Donuts. The site changes and PUD approval include the entire Tinley Downs Plaza site located at 7901-7951 171st Street. The structural changes are only proposed on the outlot building is 7941 171st Street. The property is located in the B-1 (Neighborhood Shopping) zoning district.

Dunkin' Donuts will move from their existing in-line tenant location to the outlot building to have a drive-thru that better serves their customers' needs and will increase sales. The redevelopment would utilize the existing outlot structure (most recently professional business offices) and have the drive-thru circulate counterclockwise through the existing building. This will create a covered canopy area. Additionally, there are changes required to the overall shopping center site including realignment of drive aisles and removal of parking spaces.

The PUD is required to permit a drive-thru restaurant in the B-1 zoning district, where it is typically prohibited. The drive-thru will only be permitted in the outlot building and no other drive-thru would be permitted for the in-line tenants. The PUD will also allow for existing non-conforming aspects of the development to come into conformance and allow for the reduction in parking. The redevelopment will bring additional convenience to Dunkin's customers and result in the reuse of a building that has been vacant for a few years. Overall the site is being designed with sufficient drive-thru stacking, safe site circulation, and improved landscaping as a priority.

Updates from the January 6, 2022 Plan Commission Workshop staff report are in RED.

EXISTING SITE & HISTORY

The property is located on the southeast corner of 171st Street and 80th Avenue and is commonly known as Tinley Downs Plaza. The commercial shopping center has a large in-line building that is approximately 43,000 sq. ft. in size and an existing outlot building that is approximately 4,800 sq. ft. in size that has most recently been used as professional offices. The center is anchored by a Family Dollar (formerly Walgreens), Southwest Synergy Dance Studio, and Dunkin' Donuts with a variety of other commercial uses in 14 other tenant spaces. The center is fully occupied except for the outlot building.



The property was annexed into the Village and development was approved in 1991. The center has shared parking between all tenants. The lot is 3.67 acres with certain areas of the 5-acre original lot taken for the expansions of the 80th Avenue and 171st Street roadway expansions. The roadway expansions happened before the site development. The site has not been formally resubdivided to remove the areas taken by Cook County for roadway purposes.

ZONING & NEARBY LAND USES

The property is located in the B-1 (Neighborhood Shopping) zoning district. The B-1 zoning district is the lowest intensity commercial zoning district. B-1 zoning are most commonly adjacent to residentially-zoned property and restricts some commercial uses that may be "offensive" by creating excessive noise, smells, traffic, light, or other problems that can negatively affect the neighboring residential properties.

Surrounding zoning:

- South: R-2, Single Family Residential (vacant lots were temporary detention for the subdivision)
- East: R-2, Single Family Residential
- North (Across 171st Street): R-3, Single-Family Residential
- West (Across 80th Avenue): R-1, Single Family Residential (Tinley Park - Park District Bettenhausen Recreation Center/Water Park)



PROPOSED USE

The proposal will move an existing Dunkin' Donuts (Dunkin') from the 1,946 sq. ft. in-line tenant space in Tinley Downs Plaza to a redeveloped outlot building that will be 2,551 sq. ft. in size. The new space will have indoor seating, a small outdoor patio, and a drive-thru with space for at least 13 vehicles to stack. The redevelopment is driven by Dunkin' looking to add a drive-thru at their existing location to add convenience to their customers and boost sales.



Dunkin' primarily operates as a donut and coffee shop. However, over the last 5-10 years the range of menu options available has increased to help draw customers for breakfast, lunch, dinner, and dessert. The changes in the menu have increased their sales but also have expanded their drive-thru demand and peak times from what was previously mostly a morning/breakfast rush. Dunkin' now functions similarly to more typical "fast-food restaurants" now in terms of demand and service times. The donuts are not made on-site and thus the kitchen/prep areas remain small in comparison to many other fast-food restaurants.

"Restaurants" are a permitted use in the B-1 zoning district but drive-thru restaurants are prohibited. This is because B-1 districts are expected to be neighborhood service-oriented and less auto-oriented in nature. Locations with drive-thrus usually need proper planning for vehicles to safely enter and exit, while keep a pedestrian focus in mind.

SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT

Planned Unit Development

B-1 zoning districts are often located adjacent to single-family residential development and the most restrictive commercial zoning district. The B-1 district limits high-intensity and other "objectionable uses" (loud noise, smells, high vehicle traffic, liquor/tobacco sales, etc.) The goal is to have uses which support the surrounding neighborhood while remaining pedestrian-focused. However, many of these neighborhood centers have struggled the most as shopping and services have moved online or to more regional locations. The changes in commercial activity at a national-scale have meant most communities need to rethink how smaller neighborhood centers function since they tend to be less desirable due to lower adjacent roadway traffic counts.

The Petitioner is an existing tenant and the drive-thru is a critical component of their business to remain competitive. The request is only to allow a drive-thru use at the outlot building, and no other drive-thrus would be permitted in the inline building or on the property. The Petitioner will keep the development under one lot and ownership since there is no desire to subdivide the property and plat easements for shared utilities, access, parking, etc. The existing B-1 zoning will be maintained to avoid other potentially "objectionable" uses typically only allowed in B-3 (General Business and Commercial) zoning district from being permitted in the in-line spaces.

Staff has noted that the development is fairly unique because B-1 developments are typically only permitted one principal building per lot. Typically, any outlot development would be a separate lot and zoned B-3 (General Business and Commercial) because they are not immediately adjacent to residential. The outlot building is over 200 feet away from the adjacent residential lots to the south and north and 150 feet away from the residential to the north (across 171st Street).

The approach of keeping B-1 zoning and approving a PUD was noted by the Commission as acceptable due to the unique situation, proposal, and the site being existing.

~~Open Item #1: Review the requested establishment of a PUD on the Tinley Downs Plaza property. Review maintaining the existing B-1 zoning and allowing a drive-thru restaurant in the redeveloped outlot building.~~

Exceptions

The proposed PUD includes Exceptions to the Zoning Code for a number of items that are existing or changing on the site. As a PUD these deviations from code are considered "Exceptions" and not "Variations" and therefore do not follow the standard findings required of Variations. There are eight Exceptions identified on the parcel. Many Exceptions are existing on the site and were approved with the original development, with others required based on the specific redevelopment proposal to occur. The Exceptions are listed below.

Staff notes that a PUD is required to be a minimum of 5 acres to allow for unique planning and development to happen. However, meeting that requirement can be difficult on infill or redevelopment sites. Flexibility has been given to the requirement to make unique redevelopment work. Staff also notes that the development previously met the minimum 5-acre PUD requirement and other B-1 zoning district lot size requirements. However, it was reduced in size due to past roadway takings from Cook County.

Existing Exceptions

- a. PUD Size - Permit a PUD on a lot that is 3.67 acres, instead of the minimum 5-acre size.
- b. Minimum Lot Size - Permit a lot that is 3.67 acres, instead of the 4-acre minimum in the B-1 zoning district.
- c. Front Yard Setbacks - Permit a front yard setback of approximately 20-60 feet for the outlot and inline principal structures, instead of the minimum of 125 ft.
- d. Front Yard Parking - Permit Parking in the required front yard.
- e. Monument Sign - Permit the monument sign size and setback as it exists (around 2-foot setbacks).
- f. Permit existing exterior material/masonry coverage on both principal structures (in-line and outlot), with both structures having matching brick.

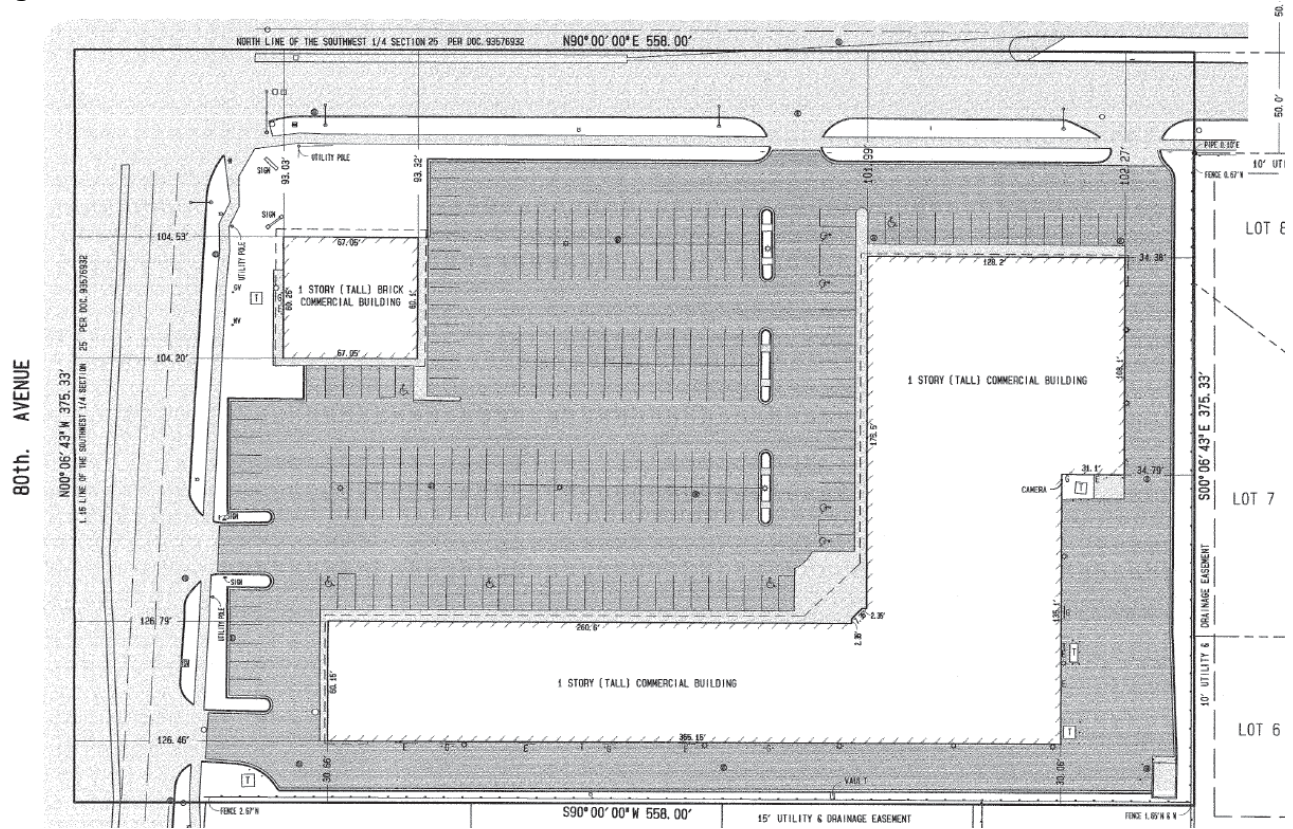
Increased/New Exceptions

- a. Minimum Parking - Permit 159 parking stalls instead of the minimum requirement of 296 stalls.
- b. Drive-thru Restaurant - Allow for a Restaurant with a drive-thru as a permitted use in the standalone outlot building (remains prohibited in the in-line building).

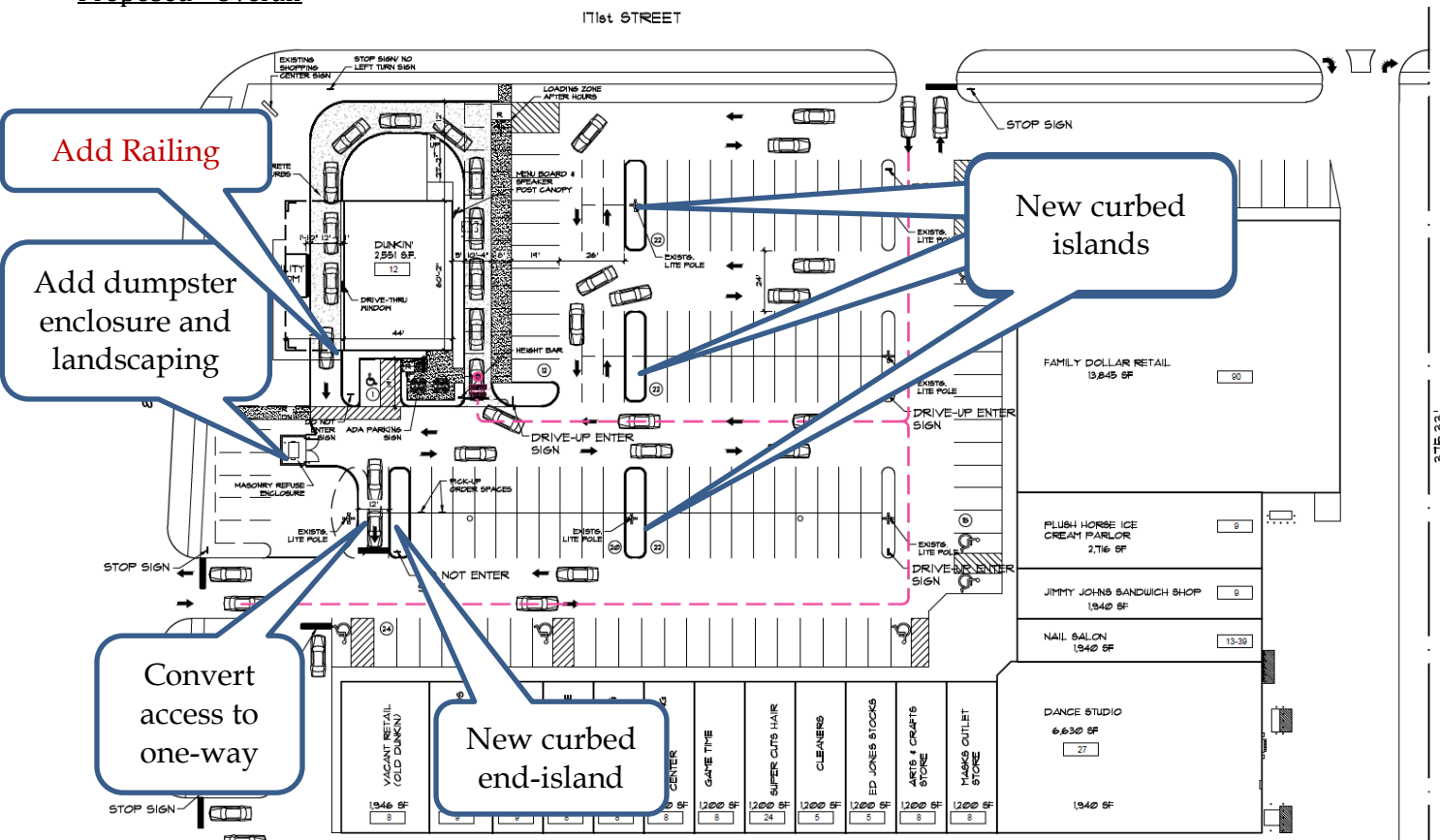
Open Item #2: Review the requested Exceptions from the Zoning Ordinance as part of the PUD Approval.

SITE PLAN AND CIRCULATION

Existing - Overall



Proposed - Overall



Drive-Thru Development Background

As businesses, particularly restaurants, look at ways to increase stable sales since the start of the Covid-19 pandemic, the additions of drive-thrus on existing commercial sites have become an increasingly popular option. However, drive-thrus can become problematic due to traffic volumes and stacking concerns. If not properly planned, vehicles can block customer and emergency access not only on the property but on public roadways. This is particularly true on sites not originally designed to have a drive-thru. Many of the issues can spill over and negatively affect neighboring businesses and properties.

Drive-thrus are also typically designed for specific tenants and their traffic demands. The demand for different types of businesses differs greatly. As demand increases, so can the potential for traffic issues. Similar to the demand for drive-thru windows, the Village recently approved "pickup windows" (without ordering onsite available) at two locations (Chipotle and Durbin's Express). However, when properly planned, some sites can be redeveloped with a drive-thru addition and can make it much more appealing to potential tenants. Careful consideration needs to be made when retroactively approving drive-thrus on existing sites not previously designed for it.

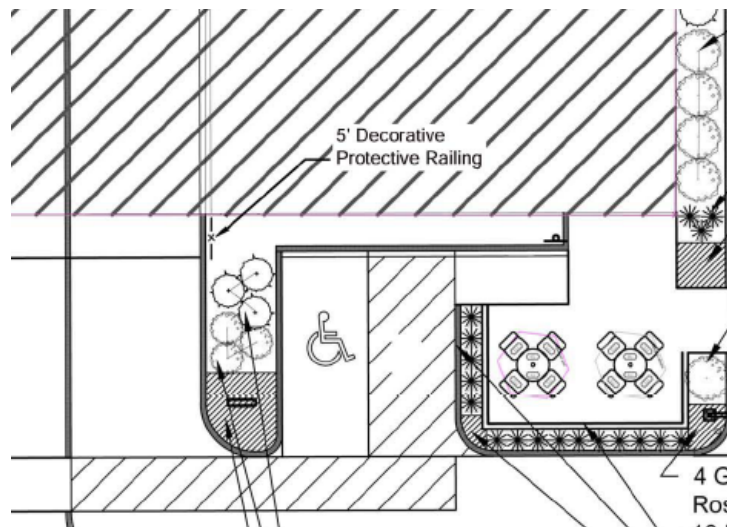
Site Proposal

The Petitioner worked with staff to go through various different potential options and ultimately determined the best way to have a drive-thru operate on the site safely, without negatively affecting other tenants in the center. The proposed design was a result of a number of different staff reviews and revisions, along with feedback from the Petitioner's traffic consultant (KLOA).

The drive-thru circulates counterclockwise around the building. The entrance will be at the southeast corner of the outlot building and has an internal stacking allowance of at least 12 vehicles. To accommodate a dedicated drive-thru lane, new dumpster enclosure, and safe vehicle circulation, the main change proposed is a reduction in parking on the site. The overall site circulation was designed to avoid conflict points despite being two heavily used entrances on the site. The circulation forces customers to enter the drive-thru primarily from one-way in the shopping center. By doing this, vehicle conflicts are avoided; it also ensures that if there is additional vehicle stacking occurring beyond the dedicated lane, it occurs within the shopping center parking lot and not on public roadways. Staff recommends a condition similar to other drive-thru and pickup window approvals that requires staff review and approval of the traffic demand of any future tenants. Any increases or concerns requires that a new traffic and stacking analysis is performed at that time.

Four new curbed islands will be added to help direct traffic through the parking lot. The islands have also been located where there are existing parking lot light poles, which can help avoid vehicle conflict with the poles in the future. Additionally, the access to the south of the drive-thru exit was changed to one-way only to avoid vehicles entering the site from 80th Avenue waiting to turn left and take a shortcut to the drive-thru entrance.

Due to the location of the dumpsters behind the existing building, a new dumpster enclosure location is needed closer to the building. Due to the layout of the site and drive-thru all sides of the building are fairly visible. The proposed location was determined to be the least obtrusive and easiest for the waste hauler to access. While it is located in the front yard, it will be set in further than the previously existing parking. No changes to the lighting on the site are proposed. Sidewalk connections to the Dunkin Donuts site are proposed at two points (80th Avenue and 171st Street) that will make the building more walkable and compliant with the Illinois Accessibility Code requirements.



Overall circulation was noted as appropriate in keep vehicles from having conflict points or stacking into public streets. The commission recommended adding a railing or some way of preventing pedestrians from crossing by the drive-thru where there is a blind spot for vehicles and pedestrians to see each other. Plans were revised with this suggestion in mind.

~~Open Item #3: Review the proposed site plan changes and overall site circulation with regards to the drive-thru and the existing businesses within the shopping center.~~

~~Open Item #4: Discuss including a condition of approval that any changes in drive-thru demand or future tenants, will require a new traffic/drive-thru analysis to ensure the drive-thru stacking is sufficient prior to issuance of any permits or occupancy.~~

PARKING

The most significant change to make the drive-thru work was a reduction in the site’s shared parking field. As outlined in the chart to the right, the existing site is below the zoning code required parking total of 6.5 parking stalls per 1,000 sq. ft. of leasable floor space in planned commercial centers. The parking requirements change from the previous approval due to the small reduction in floor space on the outlot building. Total floor space is a proposed 45,551 sq. ft. of commercial floor space in the shopping center (including the outlot building). The overall proposed parking reduction will decrease shopping center parking by 27 stalls from the current amount.

Tinley Downs Plaza Parking – Dunkin Outlot Proposal		
	Total Stalls	Difference From Code
Code Required (6.5 stalls per 1,000 sq. ft.)	296	-
Current Existing/ Previously Approved	186	-110
Proposed (Remove 37 Stalls)	159	-137
Converting non-required ADA Stalls Staff Option (Remove 33 stalls)	155	-133

Staff notes that there are currently 9 accessible parking stalls with only 5 stalls required per the Illinois Accessibility Code. So potentially 4 parking stalls can be gained by converting 4 ADA to 8 traditional stalls. This could either be required with the proposed redevelopment or completed if parking concerns arise in the future.

The Petitioner and shopping center owner have stated they feel comfortable that there is sufficient available parking in the center for all tenants. A professional parking and traffic study completed by KLOA was supplied by the Petitioner to show the existing situation and proposal will have sufficient parking. The study also includes estimates for parking demand in the in-line space that will be vacated by Dunkin’. While the center does not have large amounts of unused parking, the parking study does indicate there is available parking even during peak times. The study concludes that the proposal provides sufficient parking despite the reduction in overall parking. However, staff notes that a reduction in parking can affect the ability of some future tenants to locate in the building that have higher parking demand. For example, high parking generators like a formal restaurant or fitness center taking a future vacant space may cause parking issues.

Parking in the center was generally noted as appropriate currently and the reduction was not expected to make a big difference based on the current conditions. The commission noted, they were fine keeping the extra ADA stalls instead of converting them.

~~Open Item #5: Discuss the Exception from the Zoning Ordinance and proposed reduction in overall parking for Tinley Downs Plaza.~~

LANDSCAPE

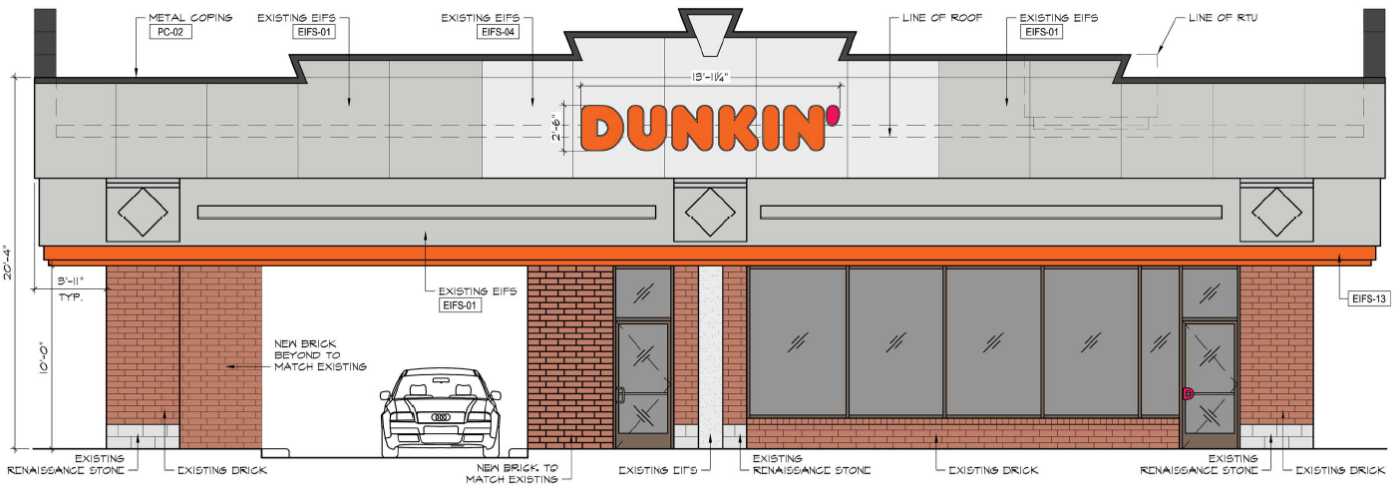
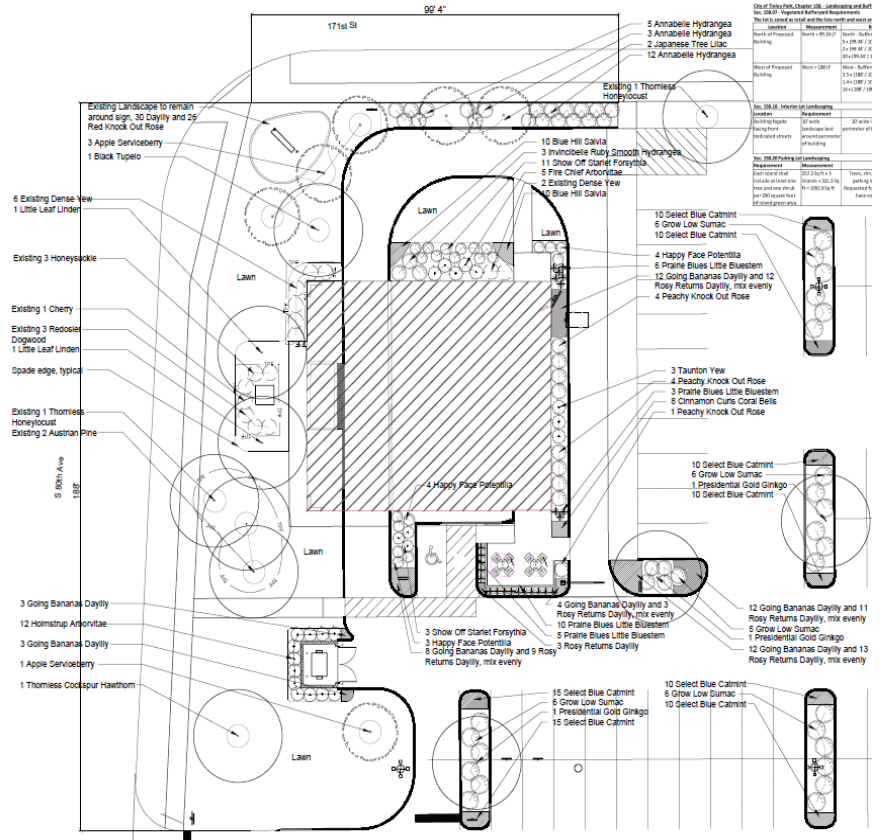
The landscaping in the overall center is mostly remaining the same. However, landscaping is being added where site plan changes are being made around the outlot building. Most notably, landscaping is being added at the 80th Avenue entrance and the new dumpster enclosure area. Landscaping is also being added to the four new parking lot islands. Landscaping is shown around the drive-thru lane that will help to prevent headlight glare to and from the drive-thru lane vehicles.

Open Item #6: Discuss the proposed landscape changes/improvements.

ARCHITECTURE

The outlot building architecture is mostly staying the same as it exists. The building's design closely matches the in-line buildings with matching brick and a parapet design. The majority of the parapet will be painted a light grey (currently a tan/beige) with a portion of it behind the sign being painted a lighter shade of grey. A small portion of the parapet area around the bottom will be painted orange as well. The area of the building being converted to the drive-thru lane will require new brick material inside of the covered lane. This brick is proposed to match the existing brick material in design, texture, and color. The existing rooftop units are screened by the existing parapet. Any new rooftop equipment is expected to be small venting equipment and will be fully screened by the existing parapet.

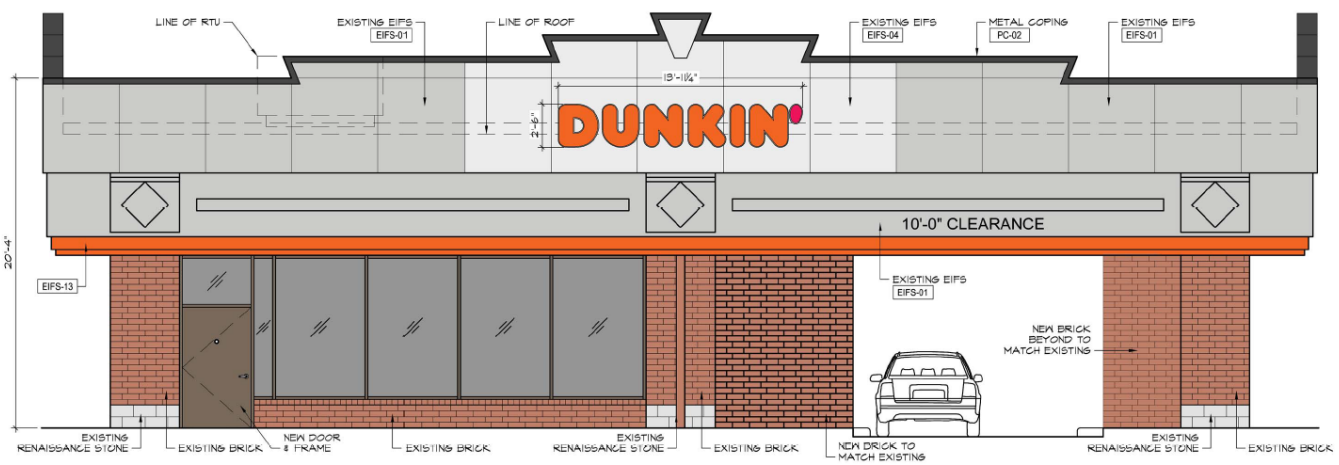
Staff has noted the existing in-line Dunkin space also had a portion of the parapet painted orange that was not previously approved. It is recommended that a condition be added to this approval/project requiring that it be painted to match the other in-line tenant spaces.



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

The Petitioner revised plans and clarified the addition of a new door on the north side elevation. The also clarified removing the existing doors on the east elevation. The rear door is proposed to be a solid metal door and staff would recommend this be a glazed door to match the rest of the exterior façade windows along the façade. This will be a highly visible façade along 171st Street frontage. The windows can be tinted or covered to decrease visibility into the backroom area. Current windows have a mirrored tinting that can be used so that the façade has a matching exterior.

Open Item #7: Review the proposed architectural design and colors. Discuss the proposed additional metal door.

SIGNAGE

Monument Sign

Ground signage will remain on the existing shared monument sign at the intersection. The sign is existing and appears it may not meet the current zoning code's height and setback dimensions. However, due to the size of the center, number of tenants, existing status, and limited alternative locations. The sign has been included as it exists as part of the PUD approval. Meaning it will be legal as it exists and could be replaced as well in the future.

Wall Signs

Wall signs are proposed on each elevation of the outlot building. They are centered on the façade and architectural elements. The signs will have a background of the parapet painted a lighter shade of grey. The proposed signs comply with the number and size of wall signs permitted.

Drive-thru Signage

Drive-thru signage includes a menu board, preview menu board, speaker post, and height restriction post. All proposed drive-thru signage will comply with the zoning code allowances.

Directional Signs

New directional signs are being placed at multiple "decision points" within the center to direct customers to the drive-thru. The new directional signs will not include logos or business advertising, which are not permitted on directional signs. However, using a sign that simply has "drive-thru →" are permitted at decision-making points. A previous plan did show logos and have not been revised yet.

The directional signs were revised to not have tenant specific logos or names and it has been made a recommended condition.

Open Item #8: Petitioner to supply revised plan for directional signs with no business name or logos.

Two existing signs at the entrance to the center along 80th Avenue serve little directional purpose and do not comply with current or previous regulations (have logos, exterior electrical equipment, rusting, etc.) It does not appear these signs were approved with permits. Staff has recommended that the two entrance signs be removed as each business in town cannot be expected to have entrance signs along a roadway. Allowing these signs would be particularly problematic in multi-tenant properties. Further, these signs do not match the proposed directional signs for the drive-thru that will serve a purpose on the site.

The Petitioner agreed to remove these two signs and it has been made a recommended condition.

Open Item #9: Discuss requiring the removal of the two existing non-conforming directional signs at the 80th Avenue entrance.

STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Staff will provide draft Findings in the Staff Report for the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - *The development is largely existing and was previously developed; the new drive-thru will not cause public health or safety concerns.*
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - *The development is largely existing and was previously developed; the new drive-thru does not appear to cause negative effects on neighboring properties.*
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - *The surrounding area has already been developed and the proposed changes do will not affect any future development in the area.*
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - *The development is existing with sufficient roads, access, drainage and utilities.*
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
 - *Per the petitioner's traffic and parking impact study, the drive-thru has been designed to avoid negatively impacting on-site traffic, parking concerns, and any off-site stacking or traffic issues.*
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
 - *All other village requirements not covered by the Planned Unit Development and noted exception will be met.*
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
 - *The redevelopment will translate into increased occupancy and higher property and sales tax output form the subject site. The project will fill a large vacancy in the center and retain a long-term tenant. Drive-thrus are in high demand due to changing consumer demands related to covid-19 and the site has been properly designed to be successful at this location and increase food sales for the tenant, translating.*

STANDARDS FOR PLANNED UNIT DEVELOPMENTS

Section VII.C.1. requires that no Planned Unit Development shall be authorized by the Village Board unless the following standards and criteria are met. Specific findings are not supplied as a recommendation of approval would mean these have been met or approved by a requested Zoning Code Exception.

General Provisions for All Planned Unit Developments:

- a. The site of the proposed Planned Unit Development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village;
- b. The Planned Unit Development will not substantially injure, or damage the use, value, and enjoyment of the surrounding property, nor hinder or prevent the development of surrounding property in accordance with the Land Use Plan of the Village;
- c. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated;
- d. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police, and fire protection;
- e. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer;
- f. The street system serving the Planned Unit Development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the Planned Unit Development will be adequate to serve the residents or occupants of the proposed development;
- g. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities, or common open space, the developer shall provide and submit, as part of the application, the method and arrangement whereby these private facilities shall be operated and maintained;
- h. The general development plan shall contain such proposed covenants, easements, and other provisions relating to the bulk, location, and density of residential buildings, non-residential uses and structures, and public facilities as are necessary for the welfare of the Planned Unit Development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the landowners within the development;
- i. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably be required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion; and
- j. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.

It should be noted that Planned Unit Developments, unlike other Special Use requests, run covenant with the land and are not specific to a developer or the current ownership. While a PUD must be under single ownership at the start of the development, it can be sold off to different owners following the phasing plan or other documents regulating the development plan.

STANDARDS FOR SITE PLAN & ARCHITECTUAL APPROVAL

Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards shall be considered to have been met upon review from the Plan Commission.

Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with "Building Articulation" (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it's the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of "attention getting" or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. **Roof:** For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. **Building Articulation:** Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as "belly-bands" (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.
- i. **Screen Mechanicals:** All mechanical devices shall be screened from all public views.
- j. **Trash Enclosures:** Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and

constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
 - b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
 - c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
 - d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
 - e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.
-

MOTIONS FOR CONSIDERATION

If the Plan Commission wishes to act on the Petitioner's requests, the appropriate wording of the motions is listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan. The Commission may choose to modify or add to staff's recommended motions and recommended conditions as they choose.

Motion 1 - Special Use for a Planned Unit Development:

"...make a motion to recommend that the Village Board approve a Special Use for a Planned Unit Development (Tinley Downs Plaza), in accordance with the listed plans, Findings of Fact, and listed of Exceptions as noted in the January 20, 2022 Staff Report, to redevelop the outlot building with a drive-thru on property located at 7901-7951 171st Street, subject to the following condition:

- 1. Any changes in drive-thru or parking demand from what was presented requires a new traffic/drive-thru analysis to be submitted and prior approval to ensure the on-site drive-thru stacking and parking is sufficient.*

Motion 2 - Site Plan and Architectural Approval:

"...make a motion to grant the Petitioner, Richard Mommsen on behalf of Daley-Mommsen Enterprises (d/b/a Dunkin' Donuts), Site Plan and Architectural approval for redevelopment of an outlot to have a Dunkin' Donuts drive-thru in Tinley Downs Plaza at 7901-7951 171st Street in the B-1 PD (Neighborhood Shopping, Tinley Downs Plaza PUD) zoning district, in accordance with the submitted plans in the January 20, 2022 staff report and subject to the following conditions:

- 1. Site Plan Approval is subject to approval of the requested PUD by the Village Board.*
- 2. Any changes in drive-thru or parking demand from what was presented requires a new traffic/drive-thru analysis to be submitted and prior approval to ensure the on-site drive-thru stacking and parking is sufficient.*
- 3. The two existing unpermitted directional signs at the 80th Avenue entrance shall be removed.*
- 4. The orange stripe on the existing Dunkin parapet area shall be painted to match the rest of the in-line parapet. This work shall be completed with this project and permit.*
- 5. Site Plan Approval is subject to Engineering and Building Department permit review and approval of final plans including any grading or drainage changes."*

LIST OF REVIEWED PLANS

Submitted Sheet Name		Prepared By	Date On Sheet
	Tinley Downs Existing Survey	LDI	4.17.13
SP-1	Site Plan	PP	1.10.22
SP-2	Dumpster Enclosure Details	PP	1.10.22
SP-3	Signage Details	PP	1.10.22
A-1 and A1.1	Exterior Elevations and Schedules	PP	1.10.22
C-1 to C-5	Dunkin Drive-Thru Site Improvements (Civil Plans)	MG2A	11.16.21
L-1 & L-2	Landscape Plan	Upland	1.10.22
16pgs	Parking and Traffic Study	KLOA	10.15.21
2pgs	Patio Examples	Petitioner	n/a

LDI = Land Divisions, Inc (Surveyor)

PP = Peter G Paraskis Architect, LTD

MG2A = M Gingerich Gereaux & Associates (Engineering and Surveying)

Upland = Upland Design (Landscape Architects)

KLOA = Kenig, Lindgren, O'Hara, Aboona, Inc. (Traffic Consultants)

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES

FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION

SUBJECT: MINUTES OF THE JANUARY 20, 2022 REGULAR MEETING

ITEM #1 PUBLIC HEARING – DUNKIN’ OUTLOT REDEVELOPMENT (TINLEY DOWNS) - SPECIAL USE FOR PUD SUBSTANTIAL DEVIATION AND SITE PLAN/ARCHITECTURAL APPROVAL

Consider recommending that the Village Board grant Richard Mommsen on behalf of Daley-Mommsen Enterprises (d/b/a Dunkin’ Donuts) a Special Use for a Planned Unit Development for Tinley Downs Plaza located at 7901-7951 171st Street, Tinley Park. The granting of this request will allow for site modifications and the allowance use allowance of a drive-thru restaurant in the existing outlet building. Site Plan and Architectural Approvals are also requested as part of the redevelopment.

Present Plan Commissioners: Chairman Garrett Gray
James Gaskill
Angela Gatto
Frank Loscuito
Eduardo Mani
Andrae Marak (arrived 7:01pm)
Kurt Truxal

Absent Plan Commissioners: Ken Shaw

Village Officials and Staff: Dan Ritter, Planning Manager

Petitioners: Peter Paraskis, Peter G. Paraskis Architect, Ltd.
Richard Mommsen, Daley-Mommsen Enterprises (d/b/a Dunkin’)

Members of the Public: None

CHAIRMAN GRAY asked for a motion to open the Public Hearing. Motion made by COMMISSIONER GASKILL seconded by COMMISSIONER LOSCUITO. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY stated he received proof of the Notice of Publication for this Public Hearing. He invited staff to start with the presentation of this item.

Dan Ritter, Planning Manager, summarized the Staff Report for the Commission that was attached to the Plan Commission packet and will be attached to the minutes. He noted the majority of the project was reviewed as part of the workshop at the previous meeting. The main concern was a railing be installed where the walkway and drive-thru met due to the blind spot for vehicles and pedestrians. This was previously mentioned by Commissioner Mani and other commissioners agreed at the workshop. Also revised on the new plans where doors removed on the east side of the building along the drive-thru. Also, a delivery door on the north side facing 171st Street was missing previously and now shown. Staff noted the delivery door as the remaining open item. It was a heavy metal door that are typical but will stick out based on the current design of the façade and the visibility from 171st Street. Staff recommended the door either be glazed or blends in better to the façade. They were looking for feedback from the Petitioner and Commissioners on the last open item.

CHAIRMAN GRAY asked if the Petitioner would like to speak. Peter Paraskis, Architect for the Petitioner, was sworn in.

Peter Paraskis noted they can complete a treatment to the back door so that isn't glazed but blends in better. If it was glass, there would likely be issues with maintenance. They would work with staff on it to come up with a better solution that isn't glass.

CHAIRMAN GRAY asked each Commissioner for comments.

COMMISSIONER MANI noted he thought the door was fine to be a heavier metal door since it would get heavy use from deliveries. He had no issues with a heavy metal door as the trees would also help hide the view from 171st Street.

COMMISSIONER GATTO noted she agreed with Commissioner Mani and suggested it be a color that camouflages it better from the street. She noted it was visible but a color change would help. Mr. Ritter suggested maybe something that was similar to the mirrored color on the existing windows.

COMMISSIONER TRUXAL noted it was a good building and site design. He agreed with the other Commissioners on the north door that should remain steel due to the heavy use and durability.

COMMISSIONER GASKILL, COMMISSIONER LUSCUITO, AND COMMISSIONER MARAK agreed with the previous Commissioner comments had no additional comments.

CHAIRMAN GRAY said he agreed on the door and noted the petitioner should work with staff to find a solution that blended in better. He was also ok with the glass extending down to the ground on the old doors since there was adjacent landscaping that would hide the lowest part. Overall the development was positive and looks great.

CHAIRMAN GRAY asked if anyone from the public wishes to speak. Seeing none, he entertained a motion to close the public hearing.

Motion to close the public hearing made by COMMISSIONER MANI, seconded by COMMISSIONER GASKILL. CHAIRMAN GRAY requested a voice vote asking if any were opposed to the motion; hearing none, he declared the motion carried.

CHAIRMAN GRAY asked staff to go through the Standards.

Dan Ritter reviewed the drafted Standards for a Special Use, Planned Unit Developments, and Site Plan/ Architectural Approval on this request, as indicated in the Staff Report.

There were two motions for this item.

Motion 1- (Special Use for a Planned Unit Development):

COMMISSIONER GATTO made a motion to recommend that the Village Board approve a Special Use for a Planned Unit Development (Tinley Downs Plaza), in accordance with the listed plans, Findings of Fact, and listed of Exceptions as noted in the January 20, 2022 Staff Report, to redevelop the outlot building with a drive-thru on property located at 7901-7951 171st Street, subject to the following condition:

1. Any changes in drive-thru or parking demand from what was presented requires a new traffic/drive-thru analysis to be submitted and prior approval to ensure the on-site drive-thru stacking and parking is sufficient.

Motion seconded by COMMISSIONER GASKILL. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

Motion 2- (Site Plan and Architectural Approval):

COMMISSIONER MANI made a motion to grant the Petitioner, Richard Mommsen on behalf of Daley-Mommsen Enterprises (d/b/a Dunkin' Donuts), Site Plan and Architectural approval for redevelopment of an outlot to have a Dunkin' Donuts drive-thru in Tinley Downs Plaza at 7901-7951 171st Street in the B-1 PD (Neighborhood Shopping, Tinley Downs Plaza PUD) zoning district, in accordance with the submitted plans in the January 20, 2022 staff report and subject to the following five conditions also listed in the staff report:

1. Site Plan Approval is subject to approval of the requested PUD by the Village Board.
2. Any changes in drive-thru or parking demand from what was presented requires a new traffic/drive-thru analysis to be submitted and prior approval to ensure the on-site drive-thru stacking and parking is sufficient.
3. The two existing unpermitted directional signs at the 80th Avenue entrance shall be removed.
4. The orange stripe on the existing Dunkin parapet area shall be painted to match the rest of the in-line parapet. This work shall be completed with this project and permit.
5. Site Plan Approval is subject to Engineering and Building Department permit review and approval of final plans including any grading or drainage changes.”

Motion seconded by COMMISSIONER GATTO. Vote taken by Roll Call; all in favor. CHAIRMAN GRAY declared the motion carried.

CHAIRMAN GRAY noted that the petitioner is anticipated to go to Village Board February 1, 2022.

Dan Ritter noted that staff will look into whether it will have just first reading or if it will also include the second reading. Typically, a separate meeting for a first reading is not waived for a PUD, however this item is relatively straightforward. He will follow up with the Petitioner prior to the Village Board meeting.

DRAFT



Interoffice Memo

Date: January 28, 2022

To: Village Board

From: Pat Carr, Village Manager *PC*

CC: Hannah Lipman, Asst. Village Manager

Subject: Purchase and Sale Agreement – Lincolnway SD 210

Staff is requesting approval for the purchase of the Lincolnway School District property located at 7551 191st for \$1,500,000.00. The Lincolnway School Board approved the agreement at their board meeting on January 20, 2022.

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-014

**AN ORDINANCE FOR THE TRANSFER OF PROPERTY PURSUANT
TO THE ILLINOIS LOCAL GOVERNMENT PROPERTY TRANSFER
ACT (7551 191st STREET, TINLEY PARK, IL)**

MICHAEL W. GLOTZ, PRESIDENT
NANCY O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2022-O-014**AN ORDINANCE FOR THE TRANSFER OF PROPERTY PURSUANT
TO THE ILLINOIS LOCAL GOVERNMENT PROPERTY TRANSFER
ACT (7551 191ST STREET, TINLEY PARK, IL)**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Lincoln Way Community High School District, 210, an Illinois School District ("School District") is the owner of real property located at or near 7551 191st Street, Harlem Avenue within the Village of Tinley Park ("Village"), the legal description of which is attached hereto as **Exhibit 1** ("School Property"); and

WHEREAS, the Board of Trustees of the Village of Tinley Park finds that it is necessary and convenient for the Village to use, occupy and/or improve the School Property for a public purpose, within the meaning of the Illinois Local Government Property Transfer Act, 50 ILCS 605/0.01, *et seq.*, ("Act"), and

WHEREAS, the Village and the School District have agreed on the terms of a Purchase and Sale Agreement whereby the School District would convey the School Property to the Village, pursuant to the provisions of the Act, subject to the approval of the Corporate Authorities of the Village and the further subject to the approval of the Board of Education of the School District, a copy of which is attached hereto as **Exhibit 2**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to accept the conveyance of the School Property pursuant to the terms of the Purchase and Sale Agreement; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: The President and Board of Trustees hereby accept the conveyance of the School Property from the School District, and hereby approve the Purchase and Sale Agreement for the property described in Exhibit 1, in the amount of One Million Five Hundred Thousand Dollars (\$1,500,000.00), substantially in the form attached hereto as Exhibit 2, and the Village President and/or the Village Manager are hereby authorized to execute said Purchase and Sale Agreement, subject to review and revisions by the Village attorney as to form, and any other revisions deemed necessary by the Village Attorney during the contingency/due diligence period.

SECTION 3: Any policy, resolution, or ordinance of the Village of Tinley Park that conflicts with the provisions of this Ordinance shall be and hereby repealed to the extent of such conflict.

SECTION 4: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 5: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 1st day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-014, “AN ORDINANCE FOR THE TRANSFER OF PROPERTY PURSUANT TO THE ILLINOIS LOCAL GOVERNMENT PROPERTY TRANSFER ACT (7551 191st STREET, TINLEY PARK, IL),” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

EXHIBIT 1
Legal Description

THAT PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THAT PART CONDEMNED BY THE DEPARTMENT OF PUBLIC WORKS OF THE STATE OF ILLINOIS IN CASE W66G894H, AND ALSO THAT PART TAKEN BY PLAT OF DEDICATION RECORDED JULY 11, 2002 AS DCOUMENT NO. R2002-1 12732 AND ALSO EXCEPTING THEREFROM THAT PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID WITH A LINE 140.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 12; THENCE SOUTH ALONG SAID PARALLEL, LINE 150.28 FEET; THENCE EAST PARALLEL WITH SAID NORTH UNE 60.00 FEET; THENCE SOUTH PARALLEL WITH SAID EAST LINE 95.53 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A CIRCLE 1990.08 FEET RADIUS, CONVEX TO THE SOUTHWEST AND TANGENT TO THE LAST DESCRIBED PARALLEL LINE TO THE POINT OF INTERSECTION WITH A LINE 433.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE WEST ALONG SAID PARALLEL LINE TO THE POINT OF INTERSECTION WITH A LINE 390.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE NORTH ALONG SA[D PARALLEL LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE EAST ALONG THE NORTH LINE TO THE POINT OF BEGINNING), IN WILL COUNTY, ILLINOIS.

PINs: 19-09-12-200-011-0010 and 19-09-12-200-011-0020

EXHIBIT 2
Purchase and Sale Agreement

PURCHASE AND SALE AGREEMENT

THIS AGREEMENT (“Agreement”), made and entered into this 20th day of January, 2022 (“Effective Date”), by and between, the Village of Tinley Park, an Illinois municipal corporation (“PURCHASER”), and the Board of Education of Lincoln Way Community High School District, 210 (“SELLER”). SELLER and PURCHASER may be referred to individually as “Party” and collectively as “Parties”.

RECITALS

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the promotion and protection of economic and social vitality; and

WHEREAS, SELLER is a public school district organized and existing under the laws of the state of Illinois; and

WHEREAS, SELLER is authorized pursuant to Section 5/5-22 of the Illinois School Code (105 ILCS 5/5-22) to sell real property to another unit of local government pursuant to the Illinois Local Government Property Transfer Act (50 ILCS 605/1. et. seq.); and

WHEREAS, SELLER is the owner of certain real property legally described in Exhibit "A" attached hereto and made a part hereof, and commonly known as 19100 S. Harlem Avenue, Tinley Park, Illinois, ("Real Property"); and

WHEREAS, SELLER has determined that the Real Property has become unnecessary, unsuitable and inconvenient for a school and unnecessary for uses of the SELLER; and

WHEREAS, SELLER desires to sell to PURCHASER and PURCHASER desires to purchase from SELLER the Real Property, all improvements thereon, all attachments and all fixtures (collectively “Property”) in accordance with the Illinois Local Government Property Transfer Act; and

WHEREAS, in order to consummate the sale of the Property to PURCHASER, the Parties desire to enter into this Agreement; and

WHEREAS, SELLER finds the powers exercised hereunder to be in furtherance of the public use and essential to the public interest; and

WHEREAS, the President and the Board of Trustees have determined that entering into this Agreement is in the best interest of the Village of Tinley Park.

AGREEMENT

It is hereby agreed, by and between the Parties, subject to the terms and conditions hereinafter set forth, as follows:

1. Recitals. The above Recitals are incorporated herein by this reference.
2. Purchase and Sale. On the terms and conditions set forth herein, SELLER hereby agrees to sell and convey the Property to PURCHASER and PURCHASER hereby agrees to purchase the Property from SELLER at the Closing (as defined hereinafter).
3. Purchase Price. In consideration for the conveyance of the Property, PURCHASER hereby agrees to purchase the Property from SELLER for the sum of One Million Five Hundred Thousand Dollars (\$1,500,000.00) ("Purchase Price") to be paid as follows:
 - a. Earnest Money Deposit. Within seven (7) days after the full execution of this Agreement, PURCHASER shall deposit with the Title Company (as defined hereinafter) as Escrowee, in the amount of Ten Thousand and 00/100 Dollars (\$10,000.00). The Earnest Money Deposit shall be held by the Title Company pursuant to a Strict Joint Order Excrow and credited to the PURCHASER against the Purchase Price at Closing.
 - b. Balance of Purchase Price. The balance of the Purchase Price shall be paid at the Closing in immediately available funds, subject to adjustments as hereinafter provided.
4. Closing. The Parties agree to make all reasonable efforts to close by May 20, 2022, provided that all contingencies, conditions, due diligence periods, and title/survey review provisions, as forth herein, have been satisfied to Purchaser's sole, exclusive, satisfaction, or at any other such time and place as PURCHASER and SELLER shall mutually agree upon (the "Closing").
5. Due Diligence Period. PURCHASER shall have 90 days (90) days from the full execution of this Agreement to conduct, at its sole cost and expense, any of its due diligence ("Due Diligence Period"). PURCHASER shall provide written notice to SELLER that PURCHASER is commencing its due diligence ("Due Diligence Notice").
 - a. Upon receipt of the Due Diligence Notice, SELLER shall provide PURCHASER with copies of the following, if in the possession of SELLER: (i) existing deed; (ii) existing title insurance policy; (iii) existing survey, (iv) copies of title exception documents of record; (v) existing environmental, engineering and soils reports, (vi) existing engineering and/or wetland reports (if applicable), (vii) copies of existing zoning documentation, (viii) copies of tax bills and assessment history for the previous five (5) years; and (ix) all government notices, permits and licenses.
 - b. During the Due Diligence Period, PURCHASER or its designee, shall have

the sole exclusive right to conduct its investigation and feasibility into the property for future development purposes, and SELLER shall provide PURCHASER or its designee unlimited access to the Property for the purpose of making inspections, test borings, soil analysis, and such other tests and surveys thereon as deemed necessary by PURCHASER, including but not limited to a Phase I environmental study and Phase II environmental study, and other flood and drainage investigation and studies, and all other development related feasibility investigations and studies if needed. Except to the extent attributable to acts, omissions or negligence of SELLER, or its employees and agents, PURCHASER shall indemnify, defend, and hold harmless the SELLER, its officials, officers, employees, and agents from any claims or demands that may be made by any third party against the SELLER, its officials, officers, employees, and agents arising out of the access granted hereunder. PURCHASER shall, at its sole cost and expense, restore the Property to its condition existing immediately prior to inspection. If During the 90 Day Due Diligence Period as defined in this Section 5, PURCHASER's investigation, feasibility studies, inspections, surveys, test borings or soil analysis do not show to the PURCHASER's sole, exclusive satisfaction that: (1) said Property is suitable for PURCHASER's intended use, and/or (2) show in Purchaser's sole, exclusive judgment, that there are hazardous substances present on the Property, PURCHASER shall have the sole exclusive right to terminate this Agreement pursuant to the notice provision set forth Section 24 of this Agreement, at which time this Agreement shall become null and void, with no Party having any rights, duties or obligations to each other. SELLER agrees to cooperate with the Title Company and Escrowee, and execute the necessary documents to release the Earnest Money Deposit to PURCHASER. The indemnity under this subsection 5(b) shall survive any termination of this Agreement and the Closing.

6. No Representations as to Condition and Suitability of Property. Except as provided for in Section 14 of this Agreement, the Property is being transferred in an "As Is" condition and "With All Faults" as of the date of this Agreement and of Closing. No representations or warranties have been made or are made and no responsibility has been or is assumed by SELLER or by any board member, officer, official, employee, person, firm, agent or representative acting or purporting to act on behalf of Seller as to the condition or repair of the Property or the value, expense of operation, or income potential thereof or as to any other fact or condition which has or might affect the Property or the condition, repair, value, expense of operation or income potential of the Property or any portion thereof.

Except as provided for in Section 14 of this Agreement, Seller makes no representations or warranties as to whether the Property contains Hazardous Substances (defined below) or the extent, location or nature of same. Further, to the extent that Seller has provided to Purchaser information from any inspection, engineering or environmental reports concerning the presence of Hazardous Substances on or about, or released from the Property, Seller makes no representations or warranties with respect to the accuracy or completeness, methodology of preparation or otherwise concerning the contents of such reports. Purchaser agrees and acknowledges that it has relied and shall rely solely upon the results of Purchaser's own inspections or other information obtained or otherwise available to Purchaser, rather than any information that may have been provided by Seller to Purchaser.

As used herein the term "Hazardous Substances" means (i) any flammable explosives, radioactive materials or hazardous, toxic or dangerous wastes, substances or related materials or any other chemicals, materials or substances, including, but not limited to, asbestos, PCBs, petroleum products and by-products (including, but not limited to, crude oil or any fraction thereof, natural gas, natural gas liquids, liquefied natural gas, or synthetic gas useable for fuel, or any mixture thereof), which are defined or listed as "hazardous substances", "hazardous materials", "hazardous wastes" or "toxic substances" in, or exposure to which is prohibited, limited or regulated by, pursuant to, or for purposes of, the Comprehensive Environmental Response, Compensation, and Liability Act (42 U.S.C. Section 9601, et seq.); the Hazardous Materials Transportation Act (49 U.S.C. Section 1801, et seq.); the Resource Conservation and Recovery Act (42 U.S.C. Section 6901, et seq.); any so-called "Superfund" or "Superlien" law; or any other federal, state or local statute, law, ordinance, code, rule, regulation, order or decree regulating, relating to or imposing liability or standards of conduct concerning any hazardous, toxic or dangerous waste, substance or material; (ii) any substances or mixture regulated

7. Breach and Remedies:

a. In the event that the sale of the Property fails to close as a result SELLER's breach of its obligations under this Agreement, and such breach has not been cured by SELLER within thirty (30) days after written notice to SELLER by PURCHASER, PURCHASER shall have the right to terminate this Agreement and the Earnest Money Deposit shall be refunded to PURCHASER. In lieu of their termination rights, PURCHASER may seek specific performance of this transaction and damages (including attorneys' fees).

b. In the event that the sale of the Property fails to close as a result of PURCHASER's breach of its obligations under this Agreement, SELLER's sole, exclusive remedy shall be to retain the Earnest Money Deposit as defined in Section 3(b) of this Agreement, as liquidated damages, in lieu of any other damages available to SELLER at law or in equity. It is understood that SELLER's actual damages in the event of PURCHASER's default are difficult to ascertain and that SELLER's retention of PURCHASER's Earnest Money Deposit represents the Parties' best current estimate of such damages.

8. Prorations. All water and other utilities charges, and rents, if any, and other similar items with respect to the Property shall be prorated between SELLER and PURCHASER as of the Closing. Real Estate property tax prorations shall be based upon 110% of the last ascertainable tax bill as of the date of closing. SELLER shall pay all special assessments levied prior to Closing regardless as to when due.

9. Title Insurance. SELLER, at its sole cost and expense, shall furnish, not less than thirty days (30) prior to the Closing, a title commitment for an owners title insurance policy issued by Professional National Title Network ("Title Company") in the amount of the purchase price providing standard coverage and full extended coverage over all standard and general exceptions. Any endorsement requested by PURCHASER would be at PURCHASER's expense

10. Title and Survey Objections.

PURCHASER shall have ten (10) business days after receipt of the Title Commitment and the Survey, respectively, in which to object in writing to SELLER to any defect, encumbrance or matter appearing in the title documents or Survey, respectively. Those matters to which the PURCHASER does not so object shall become Permitted Exceptions. If, within such applicable period, PURCHASER notifies SELLER in writing of an objection to any defect, encumbrance, or matter shown in the Title Commitment or Survey, or if at any time prior to closing PURCHASER notifies SELLER in writing of an objection to any defect, encumbrance, or matter to SELLER's title not set forth in the original Title Commitment or Survey, then SELLER shall have, at its option and without any obligation to do so, ten (10) business days after receipt of such notification of objection in which to cure or remove the same subject, to the PURCHASER's sole, exclusive satisfaction. If SELLER does not do so, then PURCHASER may at any time prior to Closing send SELLER and Title Company written notice terminating this Agreement, whereupon Title Company shall immediately release the Deposit to PURCHASER, and neither PURCHASER nor SELLER shall have any further rights or obligations pursuant to this Agreement; otherwise, PURCHASER shall be deemed to have accepted such matter, encumbrance or defect as a Permitted Exception.

11. Title. SELLER shall convey to PURCHASER the Property transferred hereunder by executing and delivering to PURCHASER a general warranty deed ("Deed"), with release of marital and homestead right, if any, subject only to general real estate taxes not yet due and payable and the Permitted Exceptions.

12. Possession. Possession of the Property shall be delivered to PURCHASER at the time of Closing.

13. Conditions Precedent. This Agreement and the transactions contemplated herein are contingent upon each of the following:

a. Condition of the Property. Subject to Section 19, that the Property at Closing is in the same condition, reasonable wear and tear excluded, as it is in on the Effective Date.

b. Interest in Property. At all times prior to Closing, Seller shall not sell, mortgage, pledge, encumber, hypothecate, lease or otherwise transfer or dispose of all or any part of the Property or any interest therein without the prior written consent of Buyer, which may be given or withheld in Buyer's sole and absolute discretion.

c. Due Diligence Period. This Agreement is contingent on Purchaser's Due Diligence and Title/Survey Review as set forth in Sections 5 and 10 of this Agreement.

d. Approval of the Village Board. The Purchaser will seek Village Board approval after Seller is granted approval by its Board of Education. This Agreement is contingent on the approval of the Village Board, of the Village of Tinley Park, within 28 days after Seller's execution of this Agreement.

e. Failure of Conditions Precedent. In the event that any of the conditions precedent contained in this Agreement shall not be fulfilled at the time of Closing PURCHASER may terminate this Agreement and the Deposit shall be returned to PURCHASER.

14. Representations of SELLER. SELLER represents and warrants to PURCHASER, which representations and warranties shall survive the Closing of this Agreement, as follows:

a. SELLER'S Title. SELLER warrants and represents that SELLER is the owner of the Property, free and clear of all liens, security interests, charges, claims, or encumbrances, restrictions, restrictions, leases, tenancies, licenses, options, except for the Permitted Exceptions. SELLER has complete right, power and authority to enter into this Agreement and to convey title of the Property to PURCHASER at the Closing by general warranty deed and SELLER represents that as of Closing, these representations shall be true and correct.

b. Violations of Law. SELLER has no knowledge or notice of any violation of any law, ordinance, rule or administrative or judicial order affecting the Property that will in any way affect PURCHASER'S use of, or interest in, the Property. Seller represents and warrants that there are no condemnation, zoning change, or other proceedings or action pending, threatened or contemplated by any governmental body, authority or agency that will in any way affect PURCHASER'S use of, or interest in, the Property.

c. Litigation. SELLER warrants and represents that there is no litigation pending, threatened or contemplated which will affect the Property in any way including, without limitation, the use, ownership and operation of the Property.

d. Hazardous Substances. To SELLER's Knowledge and without any obligation to investigate or inquire, the Property is not contaminated with any Hazardous Substances. For purposes of this Agreement, "*Hazardous Substances*" means any substance or material which gives rise to liability under any of the Environmental Laws. For purposes of this Agreement, "*Environmental Laws*" means the Resource Conservation and Recovery Act, 42 U.S.C. Section 6901 et seq., the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. Sections 9601 et seq., the Clean Water Act, 33 U.S.C. Section 1251 et seq., and all other applicable state, county, municipal, administrative or other environmental, hazardous waste or substance, health and/or safety laws, ordinances, rules, and regulations pertaining to the environmental or ecological conditions on, under or about the Property. To SELLER's Knowledge, there are no underground storage tanks on the Property.

e. Agreements. SELLER, to the best of SELLER'S knowledge, represents and warrants that this Agreement will not conflict with, result in a breach of the terms and conditions of, accelerate any provision of, or constitute any default under, any contract or agreement of which SELLER is now or may become a party. Other than this Agreement, there are no leases, licenses or other agreements for the possession or use of the Property, oral or written, or any options to purchase, purchase agreements or letters of intent granting to a person or entity any right or option to purchase the Property, and SELLER will not enter into any such agreements prior to Closing.

f. Authorization. SELLER warrants and represents that SELLER has complete right, power and authority to enter this Agreement and to perform each of SELLER'S obligations under this Agreement.

15. Representations of the PURCHASER. PURCHASER represents and warrants to SELLER, which representations and warranties shall survive the Closing of this Agreement, as follows:

a. Authorization. Subject to the Village Board's approval, as set forth and disclosed in Section 13(d) above, PURCHASER represents and warrants that that it has complete right, power and authority to enter this Agreement and to perform each of its obligations under this Agreement.

b. Litigation. PURCHASER, to the best of PURCHASER'S knowledge, warrants and represents that there is no litigation pending, threatened or contemplated relating to or affecting PURCHASER in which an adverse determination would have a materially adverse effect on the ability of PURCHASER to perform its obligations under this Agreement or consummate the transactions contemplated herein. PURCHASER is not subject to any judgment, order, decree or other governmental restriction specifically applicable to PURCHASER, which would have a materially adverse effect on the consummation of the transactions contemplated herein.

16. Escrow Closing. This sale shall be closed through an escrow with the Title Company, in accordance with the general provisions of the usual form of Deed and Money Escrow Agreement then in use by the Title Company, with such special provisions inserted in the escrow agreement as may be required to conform to this Agreement. Upon the creation of such an escrow, anything herein to the contrary notwithstanding, payment of purchase price and delivery of the Deed shall be made through the escrow. The cost of the escrow shall be paid equally by the Parties.

17. Closing Documents. At the time of the Closing, the Title Company shall prepare a Closing Statement which shall be signed by each of the Parties and shall indicate appropriate debits and credits on account of the purchase price, prorations and security as more fully described in this Agreement. The SELLER shall furnish an Affidavit of Title covering the time of closing, subject only to the Permitted Exceptions allowed for under this Agreement and shall sign all customary ALTA forms.

18. Closing Costs. SELLER shall pay for the charges for the owner's title search and title insurance policy. Any remaining closing costs shall be paid equally by the Parties. PURCHASER shall pay for the charges for recording the Deed, due diligence studies, environmental reports, or other engineering studies or updates.

19. Fire, Casualty or Condemnation. In the event that, on or prior to the Closing, all or any portion of the Property is destroyed by fire or other casualty or is taken or proposed to be taken through condemnation, PURCHASER may elect, within thirty (30) days after the date of such casualty or condemnation, at its sole option, either to:

(a) Terminate this Agreement, or

(b) Proceed with the Closing of the transactions contemplated by this Agreement, in which case SELLER shall turn over to PURCHASER at the Closing, by certified funds, all insurance proceeds and/or condemnation awards theretofore paid in connection with such casualty and/or taking and shall also assign to PURCHASER, by writing in form and substance reasonably acceptable to PURCHASER, all of SELLER'S right, title and interest in and to all insurance proceeds and/or condemnation awards in connection therewith.

20. Indemnification.

a. PURCHASER shall indemnify, defend and hold harmless SELLER, its Board members, officials, officers, employees, and agents from and against any and all loss, costs, damages, injury, expenses, or claims arising out of any breach by or non-performance of PURCHASER of its obligations, representations, warranties or covenants hereunder.. Such indemnification obligation shall survive the closing.

b. SELLER shall indemnify, defend, and hold harmless PURCHASER from and against any and all loss, costs, damages, injury, expenses, or claims arising out of any breach by or non-performance of SELLER of its obligations, representations, warranties or covenants hereunder. Such indemnification obligation shall survive the closing.

21. Entire Agreement. The Agreement supersedes any and all other agreements, either oral or in writing, between the Parties hereto with respect to the subject matter hereof and contains all of the covenants and agreements between the Parties with respect to such matter, and each Party to this Agreement acknowledges that no representations, inducements, promises or agreements, orally or otherwise, have been made by any Party, or anyone acting on behalf of any Party, which are not embodied herein, and that no other agreement, statement or promise not contained in this Agreement shall be valid and binding.

22. Duplicate Copies. This Agreement may be executed in duplicate, each of which shall be deemed an original.

23. Drafter: Despite the possibility that one Party or its attorneys have prepared this

Agreement or portions thereof, the Parties agree that no Party shall be deemed the drafter of this Agreement, and that no provisions of this Agreement shall be construed against any Party as its Drafter.

24. Notices. Any and all notices or other communications required or permitted by this Agreement or by law to be served upon any Party hereto by the other Party hereto shall be in writing and shall be deemed duly served and given when personally delivered to the Party to whom it is directed, or in lieu of such personal service, by sending a written copy by United States certified mail-return receipt requested, postage prepaid, e-mail, or express mail (i.e. Federal Express, Purolator, etc.), addressed as follows:

To PURCHASER at: Patrick Carr
Village Manager
Village of Tinley Park
16250 Oak Park Avenue
Tinley Park, Illinois
pcarr@tinleypark.org

With a Copy to: Michael J. Pasquinelli, Jr.
Peterson Johnson & Murray Chicago, LLC
200 W Adams, Suite 2125
Chicago, IL 60606
mpasquinelli@pjmchicago.com

To SELLER at: Dr, Scott Tingley
Superintendent
Lincoln-Way School District 210
1801 E. Lincoln Highway
New Lenox, IL 60451
stingley@lw210.org
(815) 462-2135

With Copy to: Christopher L. Petrarca
Petrarca, Gleason, Boyle & Izzo. LLC
1415 West 22nd Street – Suite 200
Oak Brook, IL 60523
cpetrarca@petrarcagleason.com
(630) 928-1200; Ext. 209

If notice is given by certified mail or express mail, such notice shall be deemed given upon receipt or refusal of receipt. Either Party may change their address for the purposes of this section by giving written notice of such change to the other Party in the manner provided for in this section.

25. Governing Law. This Agreement shall be construed and interpreted in accordance

with the law of the State of Illinois.

26. Inurement. This Agreement shall be binding on, and shall inure to the benefit of, the Parties to it, and their respective heirs, legal representative, successors and assigns.

27. Captions. Captions of the Sections of this Agreement are for convenience and reference only, and the words contained therein shall in no way be held to explain, modify, amplify or aid in the interpretation, construction or meaning of the provisions of this Agreement.

28. Survival. The warranties and representations made in this Agreement by either Party to the other shall be deemed remade by all Parties as of the Closing, and shall be true and correct at such time. The warranties, representations, indemnifications and other agreements contained in this Agreement shall survive the Closing and shall not merge into the Deed.

29. Venue. The sole and exclusive venues for any lawsuit filed and arising out of this Agreement shall be the Circuit Court of Cook County, Illinois or the United States District Court, Northern District of Illinois.

30. Confidentiality. To the extent permitted by law, PURCHASER and SELLER shall endeavor to maintain the confidentiality of this Agreement, but SELLER shall be permitted to disclose such information and documents to officials, officers, employees, agents, attorneys and consultants as SELLER in its sole discretion, deems appropriate in order to complete the transaction contemplated by this Agreement and to comply with any and all provisions of the Illinois Open Meetings Act and the Illinois Freedom of Information Act. PURCHASER understands and agrees that the provisions of this Agreement shall be a matter of public record. SELLER shall make all disclosures in the manner and within the time required by law.

[Signatures on Following Page]

EXHIBIT A

See Survey Dated December 18, 2006, and Legal Description therein

PIN: 19-09-12-200-011-0000

Property Address: 19100 S. Harlem
Tinley Park, IL 60477

THAT PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THAT PART CONDEMNED BY THE DEPARTMENT OF PUBLIC WORKS OF THE STATE OF ILLINOIS IN CASE W66G894H, AND ALSO THAT PART TAKEN BY PLAT OF DEDICATION RECORDED JULY 11, 2002 AS DCOUMENT NO. R2002-112732 AND ALSO EXCEPTING THEREFROM THAT PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID WITH A LINE 140.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 12; THENCE SOUTH ALONG SAID PARALLEL, LINE 150.28 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE 60.00 FEET; THENCE SOUTH PARALLEL WITH SAID EAST LINE 95.53 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A CIRCLE 1990.08 FEET RADIUS, CONVEX TO THE SOUTHWEST AND TANGENT TO THE LAST DESCRIBED PARALLEL LINE TO THE POINT OF INTERSECTION WITH A LINE 433.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE WEST ALONG SAID PARALLEL LINE TO THE POINT OF INTERSECTION WITH A LINE 390.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE NORTH ALONG SAID PARALLEL LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE EAST ALONG THE NORTH LINE TO THE POINT OF BEGINNING), IN WILL COUNTY, ILLINOIS.

Part of P.I.N: 19-09-12-200-011-0000

The Parties agree to amend this Exhibit, if necessary, with an updated legal description, PIN number, and common address of the Property, during the Purchaser's Due Diligence Period as set forth in Section 5 of this Agreement. If the Parties cannot agree to amendments proposed and related to his paragraph, then either Party, during the Due Diligence Period, may elect to terminate this Agreement.

IN WITNESS WHEREOF, the Parties have executed this Agreement on the day and year written below.

PURCHASER:

SELLER:

THE VILLAGE OF TINLEY PARK

THE BOARD OF EDUCATION
LINCOLN-WAY COMMUNITY SD210

By: _____

By: *A. J. H.*

President, Board of Education

Its: _____

President Pro Tem

Date: _____

Attest: *M. J. Doyle*

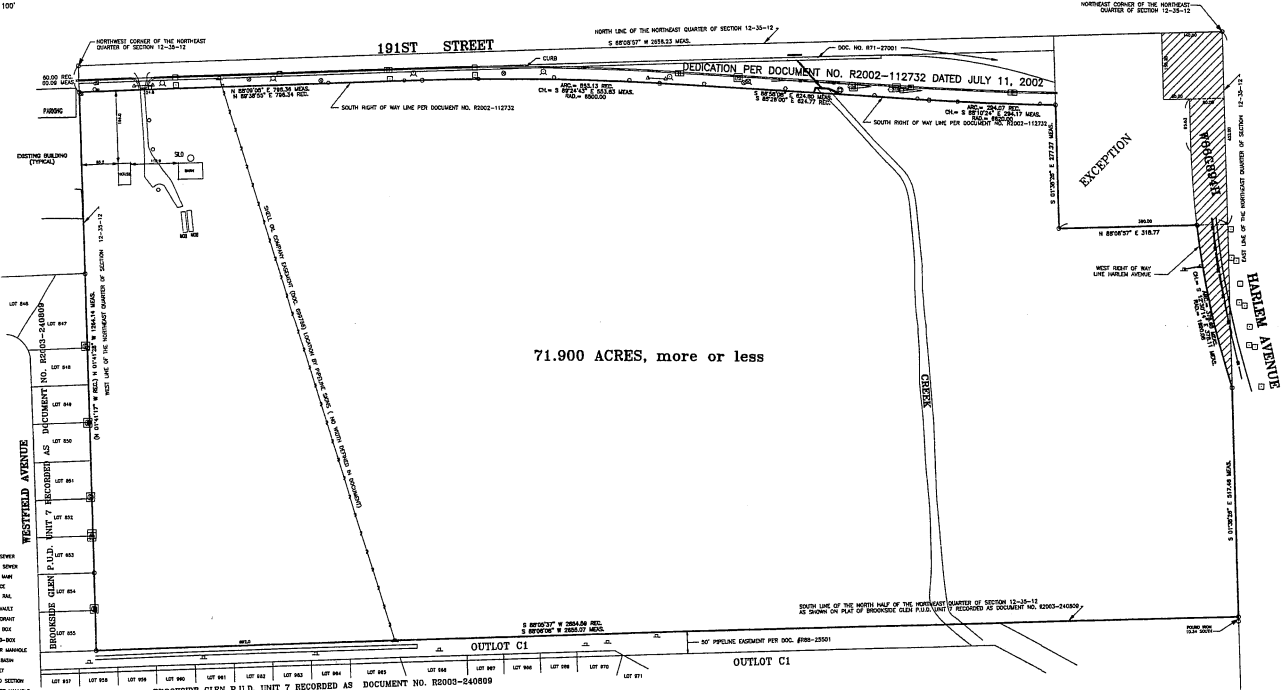
Secretary, Board of Education

Date: *1/20/2022*

PLAT OF SURVEY / ALTA

THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPTING THEREFROM THAT PART CONDEMNED BY THE DEPARTMENT OF PUBLIC WORKS OF THE STATE OF ILLINOIS IN CASE W668994H AND ALSO THAT PART TAKEN BY PLAT OF DEDICATION RECORDED JULY 11, 2002 AS DOCUMENT NUMBER R2002-112732 AND ALSO EXCEPTING THEREFROM THAT PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 35 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, AFORESAID WITH A LINE 140.0 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12; THENCE SOUTH ALONG SAID PARALLEL LINE 150.28 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE 60.0 FEET; THENCE SOUTH PARALLEL WITH SAID EAST LINE 95.53 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF CIRCLE OF 1990.08 FEET RADIUS, CONVEX TO THE SOUTHWEST AND TANGENT TO THE LAST DESCRIBED PARALLEL LINE TO THE POINT OF INTERSECTION WITH A LINE 433.0 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE WEST ALONG SAID PARALLEL LINE TO THE POINT OF INTERSECTION WITH A LINE 390.0 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE NORTH ALONG SAID PARALLEL LINE TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12 AFORESAID; THENCE EAST ALONG THE NORTH LINE TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

SCALE 1" = 100'



71.900 ACRES, more or less

LEGEND

- STORM DRAIN
- SANITARY DRAIN
- WATER MAIN
- FENCE
- GUARD RAIL
- VALVE INLET
- FIRE HYDRANT
- VALVE BOX
- WATER B-BOX
- STORM SEWER MANHOLE
- GROUND SIGN
- HOLE
- FENCED END SECTION
- SWAMPY END SECTION
- UTILITY POLE
- STREET LIGHT
- C&G SPRINKLER
- C&G THERMISTOR
- ELECTRIC PANEL
- TELEPHONE SPACE BOX
- MANHOLE
- PIPELAGE SIGN
- REDWOOD TREE
- CHERRY TREE
- TRAFFIC SIGNAL

NOTES

1. THE PROPERTY COUPED BY THIS PLAT AND SURVEY IS SHOWN ON THE RECORDS FLOOD INSURANCE PROGRAM PLAT OF RESURVEY DATE MAPS MAP NUMBER 17162 (2019 F. 5) AND 18000 (2020).
2. ABOVE GROUND UTILITIES OF UNDERGROUND UTILITIES HAS BEEN LOCATED AND SHOWN ON THIS PLAT. THE LOCATION OF FOR LOCATION AND IDENTIFICATION BY THE SURVEYOR.

STATE OF ILLINOIS)
 COUNTY OF WILL)
 I, [Signature],
 CHICAGO TITLE INSURANCE COMPANY,
 1327 CEDARWOOD DRIVE,
 IL 60604

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED
 WERE MADE IN ACCORDANCE WITH ILLINOIS STATUTES GOVERNING SURVEYS AND
 ALIENATION AND THAT THE SURVEY HAS BEEN EXAMINED AND APPROVED BY ME, AS
 A PROFESSIONAL LAND SURVEYOR, AND THAT THE LOCATION OF ALL POINTS AND
 MONUMENTS SHOWN ON THIS PLAT IS CORRECT AND ACCURATE AS SHOWN BY ALL
 INSTRUMENTS AND RECORDS IN MY POSSESSION AND CONTROL. I HEREBY CERTIFY
 THAT THE SURVEY WAS MADE ON THE DATE OF THE CERTIFICATION AND THAT THE
 SURVEYING WAS MADE IN ACCORDANCE WITH THE ILLINOIS PROFESSIONAL
 SURVEYING ACT AND THE ILLINOIS PROFESSIONAL SURVEYING BOARD'S
 REGULATIONS.

December 18, 2020
 DATE

PLAT OF SURVEY / ALTA
 LINCOLNWAY COMMUNITY HIGH SCHOOL DIST. NO. 210
 GEOTECH INC. CONSULTING ENGINEERS - LAND SURVEYORS
 1327 CEDARWOOD DRIVE, JOLIET, ILLINOIS 60435
 815/726-1010
 DRAWN BY: JMW
 CHECKED BY: JMW
 DATE: 12/20/20
 JOB # 17489
 1"=100' AS SHOWN FOR MAP
 REVISION

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

RESOLUTION
NO. 2022-R-010

**A RESOLUTION AUTHORIZING THE RELEASE OF CERTAIN
EXECUTIVE SESSION MINUTES**

MICHAEL W. GLOTZ, PRESIDENT
NANCY O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

**VILLAGE OF TINLEY PARK
Cook and Will Counties, Illinois**

RESOLUTION NO. 2022-R-010

**A RESOLUTION AUTHORIZING THE RELEASE OF CERTAIN
EXECUTIVE SESSION MINUTES**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, pursuant to 5 ILCS 120/2.06(d) of the Illinois Open Meetings Act, the President and Board of Trustees of the Village of Tinley Park have periodically met and reviewed the minutes of all meetings of the President and Board of Trustees that had been closed to the public; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park find and hereby declare that the need for confidentiality still exists, except for the minutes or portions thereof expressly identified:

March 11, 2021	July 17, 2018	February 6, 2017
December 1, 2020	May 1, 2018	January 17, 2017
September 15, 2020	April 17, 2018	January 3, 2017
June 16, 2020	March 20, 2018	December 6, 2016
June 9, 2020	December 19, 2017	November 1, 2016
May 19, 2020	December 12, 2017	October 4, 2016
May 6, 2020	October 3, 2017	September 13, 2016
January 7, 2020	October 10, 2017	August 2, 2016
December 17, 2019	August 8, 2017	March 15, 2016
November 12, 2019	June 20, 2017	March 1, 2016
April 10, 2019	May 9, 2017	February 16, 2016
February 19, 2019	May 2, 2017	February 2, 2016
November 20, 2018	April 11, 2017	July 14, 2015
October 16, 2018	March 7, 2017	April 22, 2013
August 14, 2018	February 21, 2017	

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have determined that the minutes of the closed session meetings for the dates provided above no longer require confidential treatment and should be made available for public inspection.

NOW, THEREFORE, BE IT RESOLVED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: The President and Board of Trustees find and hereby declare that the closed session minutes or portions thereof expressly identified above no longer require confidential treatment and are henceforth available for public inspection.

SECTION 3: Any policy, resolution or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS 1st day of February, 2022.

AYE S:

NAYS:

ABSENT :

APPROVED THIS 1st day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
)
 COUNTY OF COOK)
)
 COUNTY OF WILL)

SS.

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, County of Cook and Will Counties and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2022-R-010, “A RESOLUTION AUTHORIZING THE RELEASE OF CERTAIN EXECUTIVE SESSION MINUTES,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on this 1ST day of February, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 27th day of March, 2018.

VILLAGE CLERK



Interoffice Memo

Date: January 26, 2022
To: John Urbanski, Public Works Director
From: Joe Fitzpatrick, Water & Sewer Superintendent
Subject: Ordinance 2019-O-032 Amendment

Presented for Committee of the Whole and Village Board discussion and action

Description: Request to amend Ordinance 2019-O-032 regarding delinquent notices as outlined in Title V Chapter 50 Section §50.028 of the Municipal Code to replace U.S. Priority Mail with U.S. Postal Service.

Background: Section §50.028 of Municipal Code was amended in 2019, to include changes to the process of how notice of discontinuation of service are delivered. The change included delivering the notices via U.S. Priority Mail. This process has not been able to be implemented for various reasons. We attempted to go directly through the Post Office but they are unable to supply the Priority Mail materials in bulk quantities. We have reached out to multiple printing companies and they are unable to meet the required timeframes, do not have the staffing to complete the task as needed, or is not cost effective. It has proven to be more effective to have the Public Works Clerical Staff complete the process in-house.

Staff Direction Request: Amend language in Title V Chapter 50 Section §50.028 of the Municipal Code to read as follows:

50.028 DELINQUENT PAYMENT; SERVICE DISCONTINUATION; HEARING; LIEN.

(A) In the event the charges for service are not paid within 30 days after rendition of the bill for service, the charges shall be deemed delinquent and notice of discontinuation of service in the amount of the delinquency shall be sent in writing to the taxpayer whose name appears on the real estate tax bill for the parcel as the owner of the premises, the occupant of the premises, and the user of the service by ~~U.S. Priority Mail~~ U.S. Postal Service. Such notices shall state that the delinquency could create a lien on the property and that discontinuation of service shall occur within 72 hours of the date of delivery of the notice unless within that time period the village receives a written request from the owner, occupant or user stating a desire to dispute or discuss the delinquent payment in which case a hearing will be scheduled before the Village Manager, or a designee; prior to discontinuation of service. In addition to such notice, the account shall be assessed a delinquency notice charge in the amount of \$25.

Attachments:

- 1) Ordinance 2019-O-032.

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-015

**AN ORDINANCE AMENDING TITLE V CHAPTER 50 OF THE TINLEY
PARK MUNICIPAL CODE ENTITLED "WATER" PERTAINING TO
DELINQUENT NOTICES**

MICHAEL W. GLOTZ, PRESIDENT
NANCY O'CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois

Will County, Illinois

ORDINANCE NO. 2022-O-015**AN ORDINANCE AMENDING TITLE V CHAPTER 50 OF THE TINLEY PARK MUNICIPAL CODE ENTITLED "WATER" PERTAINING TO DELINQUENT NOTICES**

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park ("Village") wishes to improve its method of delivery of delinquent notices for unpaid utility services rendered prior to discontinuance of service; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to amend Title V Chapter 50 of the Tinley Park Municipal Code pursuant to this Ordinance; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That Title V Chapter 50 of the Village of Tinley Park Municipal Code entitled "WATER," is hereby amended by deleting the strikethrough language and adding the underlined language as follows:

§ 50.028 DELINQUENT PAYMENT; SERVICE DISCONTINUATION; HEARING; LIEN.

(A) In the event the charges for service are not paid within 30 days after rendition of the bill for service, the charges shall be deemed delinquent and notice of discontinuation of service in the amount of the delinquency shall be sent in writing to the taxpayer whose name appears on the real estate tax bill for the parcel as the owner of the premises, the occupant of the premises, and the user of the service by ~~U.S. Priority Mail~~ U.S. Postal Service. Such notices shall state that the delinquency could create a lien on the property and that discontinuation of service shall occur

within 72 hours of the date of delivery of the notice unless within that time period the Village receives a written request from the owner, occupant or user stating a desire to dispute or discuss the delinquent payment in which case a hearing will be scheduled before the Village Manager, or a designee; prior to discontinuation of service. In addition to such notice, the account shall be assessed a Delinquency Notice Charge in the amount of \$25.

* * *

SECTION 3: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of February, 2022.

AYES:

NAYS:

ABSENT:

APPROVED THIS 1st day of February, 2022.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, NANCY O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-015, “AN ORDINANCE AMENDING TITLE V CHAPTER 50 OF THE TINLEY PARK MUNICIPAL CODE ENTITLED “WATER” PERTAINING TO DELINQUENT NOTICES,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-010

AN ORDINANCE RESCINDING ORDINANCE 2021-O-082 AND ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE BOND ORDER DATED JUNE 5, 2013 IN CONNECTION WITH THE ISSUANCE OF \$11,340,000 GENERAL OBLIGATION BONDS, SERIES 2013 OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS AS AMENDED BY THE “CERTIFICATE OF REDUCTION OF TAXES HERETOFORE LEVIED FOR THE PAYMENT OF BONDS” DATED DECEMBER 2, 2021

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O’CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
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COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, and Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

**VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois**

ORDINANCE NUMBER 2022-O-010

AN ORDINANCE RESCINDING ORDINANCE 2021-O-082 AND ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE BOND ORDER DATED JUNE 5, 2013 IN CONNECTION WITH THE ISSUANCE OF \$11,340,000 GENERAL OBLIGATION BONDS, SERIES 2013 OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS AS AMENDED BY THE "CERTIFICATE OF REDUCTION OF TAXES HERETOFORE LEVIED FOR THE PAYMENT OF BONDS" DATED DECEMBER 2, 2021

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have heretofore authorized and adopted an ordinance, being Ordinance Number 2013-O-014, entitled "An ordinance providing for the issuance of not to exceed \$13,950,000 General Obligation Bonds, Series 2013, of the Village of Tinley Park, Cook and Will Counties, Illinois, authorizing the execution of one or more bond orders in connection therewith and providing for the levy and collection of a direct annual tax for the payment of the principal of and interest on said bonds, as adopted June 4, 2013; and

WHEREAS, on June 5, 2013, the Village Clerk, and Treasurer (the Designated Officers) entered into a contract for the sale of \$11,340,000 Taxable General Obligation Bonds, Series 2013 of the Village of Tinley Park, Cook and Will Counties, Illinois in accordance to the aforementioned Ordinance 2013-O-014 and issued a Bond Order detailing the sale and the Series

2013 bonds, terms of the Series 2013 bonds, and the taxes to be levied to provide for the debt service of the Series 2013 bonds as contained in Exhibit III of the Bond Order; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have caused to be filed with the Clerk's Office of both Cook and Will Counties, Illinois, a certified copy of the Bond Ordinance and Bond Order as aforesaid, directing the said Clerks to levy and collect an annual tax for the purpose of paying the principal and interest upon the bonds heretofore authorized; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have heretofore authorized and adopted an ordinance, being Ordinance Number 2021-O-073, entitled "An ordinance providing for the issuance of not to exceed \$17,500,000 General Obligation bonds of the Village of Tinley Park, Cook and Will Counties, Illinois, for the purpose of financing certain capital improvements within said Village and refunding certain of the Village's outstanding bonds, providing for the levy of a direct annual tax sufficient to pay the principal of and interest on said bonds, authorizing and directing the execution of an escrow agreement in connection with the issue of said bonds, and authorizing the sale of said bonds to the purchaser thereof, as adopted November 2, 2021; and

WHEREAS, on December 2, 2021 the Village entered into a contract for the sale of \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B of the Village of Tinley Park, Cook and Will Counties, Illinois, which provides for the advance refunding of a portion of the Series 2013 bonds, in accordance to the aforementioned Ordinance 2021-O-073 and issued a "Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds" which included amended direction for the abatement of taxes to be levied to provide for the debt service of the Series 2013 bonds as had been contained in Exhibit III of the aforementioned Bond Order dated June 5, 2013; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have caused to be filed with the Clerk's Office of both Cook and Will Counties, Illinois, a certified

copy of the Bond Ordinance Number 2021-O-073, and the aforementioned “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021; and

WHEREAS, on December 7, 2021 the President and Board of Trustees of the Village of Tinley Park authorized and adopted an ordinance, being Ordinance Number 2021-O-082, entitled “Abating all of the 2021 tax levy requirements as provided for in the Bond Order dated June 5, 2013 in connection with the issuance of \$11,340,000 General Obligation Bonds, Series 2013 of the Village of Tinley Park, Cook and Will Counties, Illinois” which was based on the taxes to be levied to provide for the debt service of the Series 2013 bonds as contained in Exhibit III of the Bond Order dated June 5, 2013; and

WHEREAS, the Village has found that the direction for the abatement of the 2021 tax levy requirements contained in Ordinance Number 2021-O-082 relative to the Series 2013 bonds was in conflict with the amended direction contained in the “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021; and

WHEREAS, the Village desires to resolve the conflicting guidance between Ordinance Number 2021-O-082 and the direction contained in the “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021; and

WHEREAS, there is available to the Village of Tinley Park a sum estimated to be \$410,594.02 to be derived as follows:

- | | |
|--|-------------------|
| • Hotel/Motel Tax Debt Service Reserve Fund | \$287,400.00 |
| • Sewer Fund | 102,637.73 |
| • Stormwater Management Fund | 12,839.59 |
| • New Bremen Tax Increment Finance District Fund | 7,716.70 |
| Total of alternate funding sources | \$410,594.02; and |

WHEREAS, the President and Board of Trustees of the Village of Tinley Park deem it in the best interest of the residents and taxpayers of the Village of Tinley Park that the funds available in the aforementioned Village Funds, be used to abate all of the payment of the

remaining interest and principal on the aforesaid bonds as directed in the aforementioned “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021 for the tax levy year 2021.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: That ordinance 2021-O-082 as adopted on December 7, 2021 and the abatement direction contained therein be hereby rescinded in its entirety.

Section 2: The sum of \$410,594.02, which will be derived from revenue sources within the preambles herein described above, is hereby appropriated for the specific purpose of paying all of the principal and interest on the Series 2013 bonds which fall due on or before December 1, 2022.

As provided in the “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021, the “remainder amount of tax to be extended” in the 2021 tax levy is identified as \$718,500.00 to meet the requirements to pay for principal and interest on said bonds.

The aforementioned \$410,594.02 shall be abated leaving \$307,905.98 as the remaining 2021 Tax Levy amount.

Section 3: That the Village Clerk of the Village of Tinley Park is hereby authorized and directed to file a certified copy of this ordinance with the Clerk’s Office of both Cook and Will Counties, Illinois, abating the portion aforementioned of the remaining 2021 tax levy requirement for the payment of principal and interest due on the issuance of \$11,340,000

General Obligation Bonds, Series 2013, as provided for in the Bond Order dated June 5, 2013, and as amended by the “Certificate of Reduction of Taxes Heretofore Levied for the Payment of Bonds” dated December 2, 2021, in due time and in the manner expressed by law, and the County Clerks of both Cook and Will Counties, Illinois, are hereby authorized and directed to abate said tax as provided in this ordinance.

Section 4: This ordinance shall be in full force and effect from and after its passage and approval pursuant to law.

ADOPTED this 1st day of February, 2022 by the Corporate Authorities of the Village of Tinley Park as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 1st day of February, 2022 by the President of the Village of Tinley Park.

VILLAGE PRESIDENT

ATTEST: _____
VILLAGE CLERK

STATE OF ILLINOIS)
)
 COUNTY OF COOK) SS.

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will, and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-010 “AN ORDINANCE RESCINDING ORDINANCE 2021-O-082 AND ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE BOND ORDER DATED JUNE 5, 2013 IN CONNECTION WITH THE ISSUANCE OF \$11,340,000 GENERAL OBLIGATION BONDS, SERIES 2013 OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS AS AMENDED BY THE “CERTIFICATE OF REDUCTION OF TAXES HERETOFORE LEVIED FOR THE PAYMENT OF BONDS” DATED DECEMBER 2, 2021,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-011

AN ORDINANCE ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$5,965,000 TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O’CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

**VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois**

ORDINANCE NUMBER 2022-O-011

AN ORDINANCE ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$5,965,000 TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have heretofore authorized and adopted an ordinance, being Ordinance Number 2021-O-073, entitled "An ordinance providing for the issuance of not to exceed \$17,500,000 General Obligation bonds of the Village of Tinley Park, Cook and Will Counties, Illinois, for the purpose of financing certain capital improvements within said Village and refunding certain of the Village's outstanding bonds, providing for the levy of a direct annual tax sufficient to pay the principal of and interest on said bonds, authorizing and directing the execution of an escrow agreement in connection with the issue of said bonds, and authorizing the sale of said bonds to the purchaser thereof, as adopted November 2, 2021; and

WHEREAS, on December 2, 2021 the Village entered into a contract for the sale of \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B of the Village of Tinley

Park, Cook and Will Counties, Illinois in accordance to the aforementioned Ordinance 2021-O-073 and issued a “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B” and a “Direction for Abatement of Taxes” both dated December 2, 2021 which included direction for the abatement of taxes to be levied to provide for the debt service of the Series 2021B bonds; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have caused to be filed with the Clerk's Office of both Cook and Will Counties, Illinois, a certified copy of the Bond Ordinance Number 2021-O-073, and the “Direction for Abatement of Taxes” dated December 2, 2021 in connection with said bond sale; and

WHEREAS, there is available to the Village of Tinley Park a sum estimated to be \$158,814.73 to be derived as follows:

- | | |
|--|-------------------|
| • The Hotel/Motel Tax Debt Service Reserve Fund | \$ 80,363.50 |
| • Surtax Capital Projects Fund | 44,003.41 |
| • Sewer Fund | 28,699.82 |
| • Stormwater Management Fund | 3,590.24 |
| • New Bremen Tax Increment Finance District Fund | 2,157.76 |
| Total of alternate funding sources | \$158,814.73; and |

WHEREAS, the President and Board of Trustees of the Village of Tinley Park deem it in the best interest of the residents and taxpayers of the Village of Tinley Park that the funds available in the aforementioned Village Funds, be used to abate a portion of the interest and principal on the aforesaid Series 2021B bonds as directed in the aforementioned “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B,” and the “Direction for Abatement of Taxes,” dated December 2, 2021 for the tax levy year 2021.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: That the sum of \$158,814.73, which will be derived from revenue sources within the preambles herein described above, is hereby appropriated for the specific purpose of paying all of the principal and interest on the Series 2021B bonds which fall due on or before December 1, 2022.

As provided in the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B,” and the “Direction for Abatement of Taxes,” dated December 2, 2021, the amount of tax to be extended in the 2021 tax levy is identified as \$200,908.75 to meet the requirements to pay for principal and interest on said bonds.

The aforementioned \$158,814.73 shall be abated leaving \$42,094.02 as the remaining 2021 Tax Levy amount.

Section 2: That the Village Clerk of the Village of Tinley Park is hereby authorized and directed to file a certified copy of this ordinance with the Clerk’s Office of both Cook and Will Counties, Illinois, abating a portion of the 2021 tax levy requirement for the payment of principal and interest due on the issuance of \$5,965,000 Taxable General Obligation Refunding Bonds, Series 2021B, as provided for in the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B,” and the “Direction for Abatement of Taxes,” dated December 2, 2021, in due time and in the manner expressed by law, and the County Clerks of both Cook and Will Counties, Illinois, are hereby authorized and directed to abate said tax as provided in this ordinance.

Section 3: This ordinance shall be in full force and effect from and after its passage and approval pursuant to law.

ADOPTED this 1st day of February, 2022 by the Corporate Authorities of the Village of Tinley Park as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 1st day of February, 2022 by the President of the Village of Tinley Park.

VILLAGE PRESIDENT

ATTEST: _____
VILLAGE CLERK

STATE OF ILLINOIS)
)
 COUNTY OF COOK) SS.

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will, and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-011 “AN ORDINANCE ABATING A PORTION OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$5,965,000 TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

THE VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois

ORDINANCE
NO. 2022-O-012

AN ORDINANCE ABATING ALL OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$8,940,000 GENERAL OBLIGATION BONDS, SERIES 2021A OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS

MICHAEL W. GLOTZ, PRESIDENT
NANCY M. O’CONNOR, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, and Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

**VILLAGE OF TINLEY PARK
Cook County, Illinois
Will County, Illinois**

ORDINANCE NUMBER 2022-O-012

AN ORDINANCE ABATING ALL OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$8,940,000 GENERAL OBLIGATION BONDS, SERIES 2021A OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have heretofore authorized and adopted an ordinance, being Ordinance Number 2021-O-073, entitled "An ordinance providing for the issuance of not to exceed \$17,500,000 General Obligation bonds of the Village of Tinley Park, Cook and Will Counties, Illinois, for the purpose of financing certain capital improvements within said Village and refunding certain of the Village's outstanding bonds, providing for the levy of a direct annual tax sufficient to pay the principal of and interest on said bonds, authorizing and directing the execution of an escrow agreement in connection with the issue of said bonds, and authorizing the sale of said bonds to the purchaser thereof, as adopted November 2, 2021; and

WHEREAS, on December 2, 2021 the Village entered into a contract for the sale of \$8,940,000 General Obligation Refunding Bonds, Series 2021A of the Village of Tinley Park, Cook and Will Counties, Illinois in accordance to the aforementioned Ordinance 2021-O-073

and issued a “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B” and a “Direction for Abatement of Taxes” both dated December 2, 2021 which included direction for the abatement of taxes to be levied to provide for the debt service of the Series 2021A bonds; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park have caused to be filed with the Clerk's Office of both Cook and Will Counties, Illinois, a certified copy of the Bond Ordinance Number 2021-O-073, and the “Direction for Abatement of Taxes” dated December 2, 2021 in connection with said bond sale; and

WHEREAS, there is available to the Village of Tinley Park a sum estimated to be \$747,001.67 to be derived as follows:

• Water Retail Fund	\$633,427.53
• Sewer Fund	113,574.14
Total of Water Retail and Sewer Fund	\$747,001.67; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park deem it in the best interest of the residents and taxpayers of the Village of Tinley Park that the funds available in the aforementioned Village Funds, be used to abate all of the payment of the interest and principal on the aforesaid bonds as directed in the aforementioned “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B,” and the “Direction for Abatement of Taxes,” dated December 2, 2021 for the tax levy year 2021.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: That the sum of \$747,001.67, which will be derived from revenue sources within the preambles herein described above, is hereby appropriated for the specific purpose of paying all of the principal and interest on the Series 2021A bonds which fall due on or before December 1, 2022.

As provided in the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B,” and the “Direction for Abatement of Taxes,” dated December 2, 2021, the amount of tax to be extended in the 2021 tax levy is identified as \$747,001.67 to meet the requirements to pay for principal and interest on said bonds.

The above referenced funds are sufficient to meet the 2021 Tax Levy amount required, and said levy shall be abated in its entirety.

Section 2: That the Village Clerk of the Village of Tinley Park is hereby authorized and directed to file a certified copy of this ordinance with the Clerk’s Office of both Cook and Will Counties, Illinois, abating all of the 2021 tax levy requirement for the payment of principal and interest due on the issuance of \$8,940,000 General Obligation Refunding Bonds, Series 2021A of the Village of Tinley Park, Cook and Will Counties, Illinois as provided in the “Notification of Sale of General Obligation Bonds, Series 2021A and Taxable General Obligation Refunding Bonds, Series 2021B,” and the “Direction for Abatement of Taxes,” dated December 2, 2021, in due time and in the manner expressed by law, and the County Clerks of both Cook and Will Counties, Illinois, are hereby authorized and directed to abate said tax as provided in this ordinance.

Section 3: This ordinance shall be in full force and effect from and after its passage and approval pursuant to law.

ADOPTED this 1st day of February, 2022 by the Corporate Authorities of the Village of Tinley Park as follows:

AYES:

NAYS:

ABSENT:

APPROVED this 1st day of February, 2022 by the President of the Village of Tinley Park.

VILLAGE PRESIDENT

ATTEST: _____
VILLAGE CLERK

STATE OF ILLINOIS)
)
 COUNTY OF COOK) SS.

CERTIFICATE

I, NANCY M. O’CONNOR, Village Clerk of the Village of Tinley Park, Counties of Cook and Will, and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2022-O-012 “AN ORDINANCE ABATING ALL OF THE 2021 TAX LEVY REQUIREMENTS AS PROVIDED FOR IN THE “NOTIFICATION OF SALE OF GENERAL OBLIGATION BONDS, SERIES 2021A AND TAXABLE GENERAL OBLIGATION REFUNDING BONDS, SERIES 2021B” AND THE “DIRECTION FOR ABATEMENT OF TAXES” DATED DECEMBER 2, 2021 IN CONNECTION WITH THE ISSUANCE OF \$8,940,000 GENERAL OBLIGATION BONDS, SERIES 2021A OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, ILLINOIS,” which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 1, 2022.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of February, 2022.

VILLAGE CLERK

STAFF COMMENT

BOARD COMMENT

PUBLIC COMMENT

EXECUTIVE SESSION

ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.**

- B. LITIGATION, WHEN AN ACTION AGAINST, AFFECTING OR ON BEHALF OF THE PARTICULAR PUBLIC BODY HAS BEEN FILED AND IS PENDING BEFORE A COURT OR ADMINISTRATIVE TRIBUNAL, OR WHEN THE PUBLIC BODY FINDS THAT AN ACTION IS PROBABLE OR IMMINENT, IN WHICH CASE THE BASIS FOR THE FINDING SHALL BE RECORDED AND ENTERED INTO THE MINUTES OF THE CLOSED MEETING.**